



PONDER™



2026 DESIGN GUIDELINES

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INTENT OF DESIGN GUIDELINES

The design guidelines for Ponder are intended to invoke the special character of southern architecture and provide an authentic sense of place for Ponder. An important aspect of the site-related requirements is the preservation of green space, intended to tie the community to its natural environment. Environmental awareness is also expressed through a focus on sustainable building practices.

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Disclaimer: The builders, lot owners, and any of their respective advisors or consultants (collectively, "users") acknowledge and expressly agree that the architectural guidelines and accompanying materials (collectively, "materials"), (i) do not eliminate the need for the users to obtain all necessary approvals/permits required from any public or governmental agency or authority having jurisdiction, and (ii) should not be construed as a waiver of or the satisfaction of any laws, regulations, codes, ordinances, statutes, restrictions or other requirements, conformance thereto being solely the responsibility of the users. Users also acknowledge that NB AMMONS ACRES LLC ("Fee Owner") has no liability whatsoever to the users or any other person or entity because of the materials for any completeness, sufficiency, defects, omissions, inconsistencies, or shortcomings contained therein or the work to be performed in accordance therewith. Nothing contained in the materials shall be deemed to constitute a representation, warranty, assurance, or guarantee by the Fee Owner as to the accuracy or sufficiency of the materials or their compliance with all applicable laws.

WHAT WILL BE FOUND IN
THIS CHAPTER:

- Introduction
- Brookfield Residential:
About the Builder
- Brookfield Cornerstones:
 - Home
 - Healthy Living Systems
 - Innovation
- Master Plan

Brookfield Residential

WE LOVE CREATING INCREDIBLE PLACES TO LIVE.

Our Brand Promise

Our brand promise is communicated internally but experienced externally. It is intended to capture the essence of what we promise to do for every customer and partner every day in every interaction. At Brookfield Residential, our brand promise can be summarized as follows:

“We are passionate about creating places to live that provide the opportunity for exceptional life experiences. Our homes and communities are designed to bring people together and make everyday life more enjoyable.”

Our universal tagline, The Best Places to Call Home, is the representation of what we offer. While it is okay to create campaign headlines and community themes to further strengthen our marketing material, they should never replace our universal tagline

Who We Are

Brookfield Residential Properties ULC is a leading land developer and homebuilder in North America. We entitle and develop land to create master-planned communities, build and sell lots to third-party builders, and conduct our own homebuilding operations. We also participate in select, strategic real estate opportunities, including infill projects, mixed-use developments, and joint ventures. We are the flagship North American residential property company of Brookfield Corporation (NYSE: BN; TSX: BN), a global alternative asset manager. Further information is available at BrookfieldResidential.com or Brookfield.com

Our Values

Our values are core to how we operate and are rooted in the leadership approach and innovation that have defined our company from the beginning. Our values define our culture and truly represent the spirit of Brookfield Residential.

Passion

We embrace all we do with enthusiasm, personal ownership and pride.

Integrity

We are honest, respectful and committed. We ‘do the right thing’ by our customers, partners, communities and each other.

Community

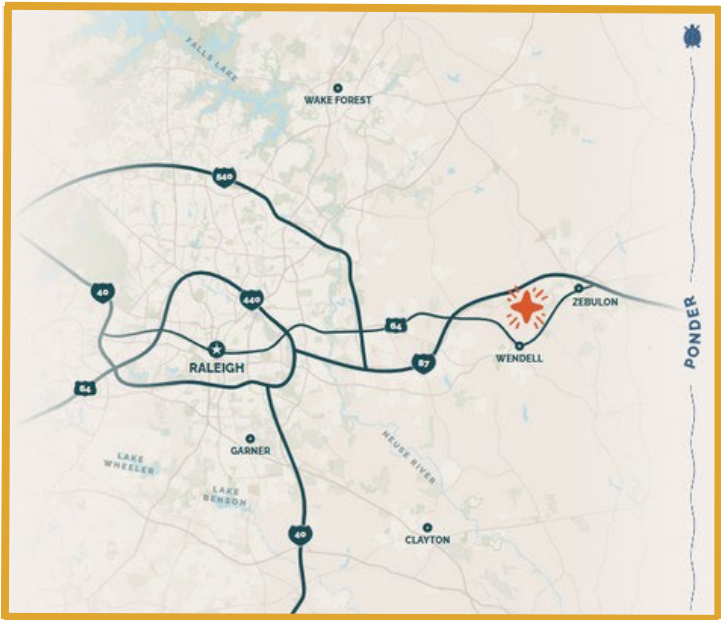
We are committed to building communities that are thoughtfully designed and cultivate exceptional life experiences providing comfort, inclusiveness, sustainability and a sense of place.

INTRODUCTION

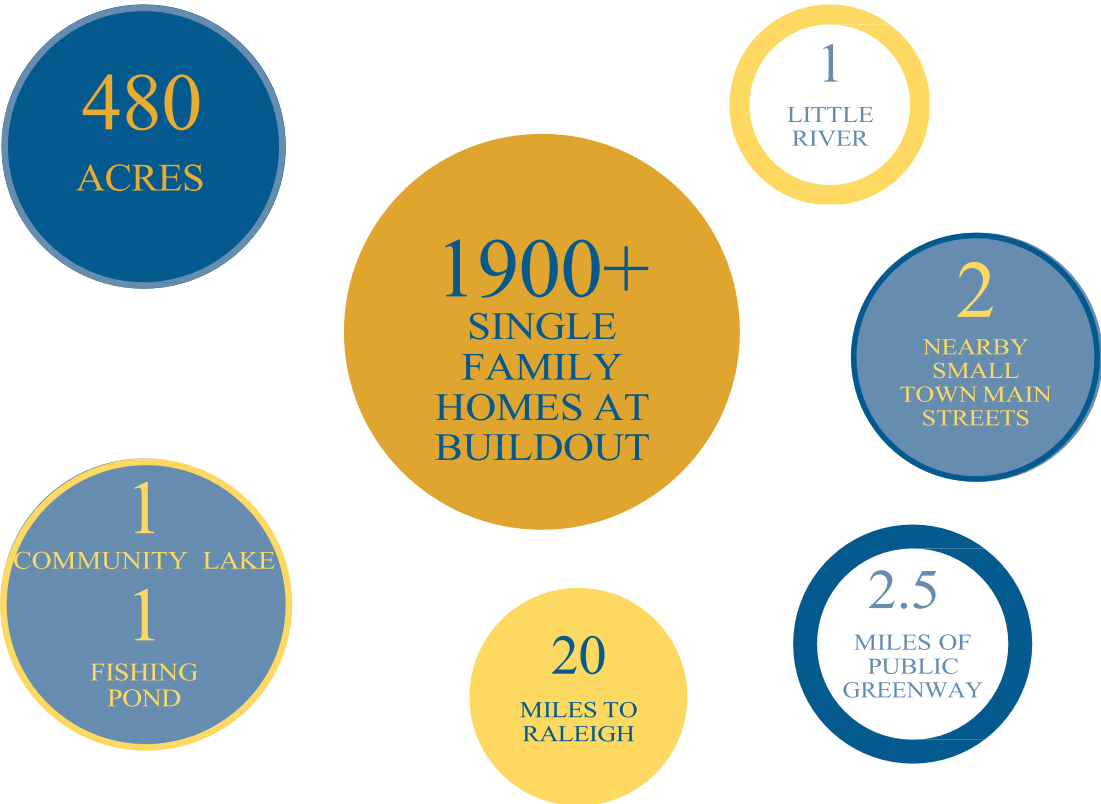
Conveniently situated between Wendell and Zebulon, a from the same team that created Wendell Falls. We call it Ponder. And it will embrace Brookfield’s goal of creating the best places to call home. Cultivating an exceptional life experience for our customers is at the heart of what we do, and what has helped make us an award-winning community developer.

This is a special piece of land — one that spent 250 years within the same family. So, we are going to do right by its history. Paying respect to the memories that were made here and laying the foundation for the ones to come.

With a location that’s easily accessible off Highway 87, Ponder puts you conveniently in the middle of two authentic, charming small towns — Historic Wendell and Zebulon, equidistant in either direction. And for those craving some city, Raleigh, with its culture and conveniences, is just 20 miles away. In other words, it’s not “drive until you can afford it.” It’s “drive because it’s worth it.”



PONDER BY THE NUMBERS

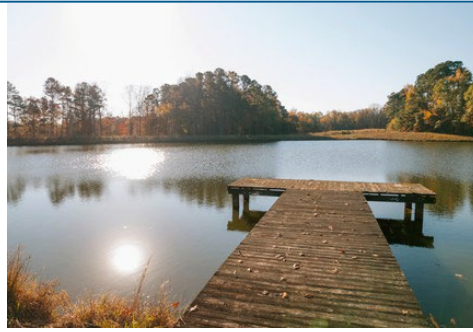




HOME - creating places where people feel comfortable and at home in their neighborhoods, with opportunities to live and share meaningful experiences with friends and family in ways that matter most to them.

This Cornerstone speaks to our customers' need to enjoy life in ways that matter most to them, and to have personal choice in how they do so. It recognizes the fact that time to connect with friends and family is important, especially in an era where we are all experiencing "time famine."

How can Brookfield create great places where this is possible? How can we create a "community" internally at Brookfield where we feel at home and can share meaningful experiences with each other? These will be some of the questions we face as we begin to work through ways, we can make Home real in everything we do.



HEALTHY LIVING SYSTEMS being intentional about the interaction of place, people, environment, and investment, to heal the land, provide a tradition of pride, and an authentic sense of place.

The research highlighted the importance of a holistic view of health, starting with regenerating the health of the land we develop. As a company, we are committed to paying close attention to our role in regenerating the land and promoting healthy balance in all we do. Our customers told us health is more than physical—it also relates to their sense of mental and emotional well-being, spiritual and financial health, and freedom from stress.



INNOVATION - from how we approach a land plan to the teams we assemble to create incredible places, innovation guides everything we do.

We proactively challenge the status quo, inside and outside our industry, to establish innovative best practices that improve our customers' and team members' quality of life.

While we believe Brookfield is the leader in the industry, how will we ensure we really are, and that we stay there? The Cornerstone Team felt strongly that Innovation was about staying relevant in times that are changing quickly, and leveraging the best talent to help us achieve that, both within and outside our industry. This will mean doing things differently, working with new teams and new ideas, often outside our comfort zone.

FOCUS ON SUSTAINABILITY

Brookfield understands that open space, vegetation, water management, and the responsible use of resources are important to the long-term health of our communities and the happiness of our residents. As a result, we are actively incorporating the principles of greener development in the way new communities are being defined and constructed.

Simply stated, a green community is one that is planned and built in a manner that conserves resources. Our company's respect for the environment motivates us to find innovative ways to manage our impact on the land, before, during, and after construction.

Brookfield wants to be known as a company that follows the best management practices in the planning, design, and execution of environmentally sensitive communities. We recognize that greener communities provide economic benefits and a higher quality of life.

CHAPTER 1

Green Spaces

The design of Ponder allows for significant areas of dedicated open space. Roads and home sites are located to take advantage of the existing topography. Multi-use and navigable open space as well as a comprehensive greenway network encourage exploration throughout the community to be utilized by all generations. The community landscape plan takes its cue from the natural landscape, creating appropriate transitions between the public realm and private spaces.

In Ponder, the goal is to have one or more green spaces within easy walking distance of every home. A variety of these will be featured including small parks, sanctuaries, open natural areas, and numerous community-wide recreational spaces.

Connections

The generous amount of open space will be connected by an extensive network of public sidewalks. Connections will also be maintained by an elaborate system of walkable trails which will contain a variety of trail types, features, and terrains.

Phased Development

Ponder will be a responsibly phased development with major infrastructure paced with new residential components to promote managed growth.



Driving into Ponder, you'll feel as if you've
stumbled upon a summer getaway. One that's
been around for generations.

Full of favorite places. Woods, a river and a
signature lake. And reimagined architecture that
feels like a new take on traditional.

All sitting on a foundation that's less tangible:
memories. Of an honest day's work. Free-range
kids. Shoes muddled with self-made adventure.
And the simple magic of a rope swing.

How lucky to get to live here.



MASTER PLAN SITE



Map is for illustration purposes only, based upon current development concepts, which are subject to change without notice. No guarantee can be made that development of the Ponder Community ("Community") will proceed as described.

CHAPTER 2

WHAT WILL BE FOUND IN
THIS CHAPTER:

- Submittal Process
- Administration and Procedures

BUILDER/ NEW CONSTRUCTION

Submittal Process

Ponder Design Review Committee (DRC) approval is required prior to commencement of any development within Ponder. Approval will include a two-part process of submittals with a 30-day review period for both. The builder shall submit all required materials to demonstrate compliance with the Ponder Design Guidelines. The DRC review will cover elements relating to site planning, exterior design and landscape, and all other provisions covered in the Guidelines. In some circumstances, additional information may be required in order to fully describe proposed development.

PORTFOLIO SUBMITTAL

Portfolio Submittals will be a general approval process for the Homebuilder. A portfolio of building plans and elevations from each Homebuilders will be reviewed with a selection of some or all that portfolio being approved. Builder DRC submittals must include Plans with elevations, Plot plan, and landscape plan for DRC review and approval shall also be part of this initial process.

The maximum review time will be 30 days from date of submittal. No lot clearing or construction is to occur until after plan approval.

Submittals shall be submitted for DRC review and approval prior to proceeding with permitting or any construction.

In addition to conforming with the principles of the guidelines, it will be the responsibility of the Homebuilder to also meet all applicable local, state, and national regulations. This includes, but is not limited to, zoning, health and safety standards, building, electrical, plumbing, mechanical, structural, accessibility, and fire codes.

Deposit Fees

Note: Deposits and fees will be determined by Ponder Community Association, Inc.

LOT SPECIFIC SUBMITTAL

Lot Specific Submittals will focus on individual lots and home sites. Complete DRC Submittal Checklist for plan approval will include the following: (see Appendix for DRC forms)

INSPECTIONS

The DRC may at any time inspect the work at any time to verify conformance with the approved submittals.

Misc Aesthetic Appeal

The DRC may disapprove of the construction or design of a home on purely aesthetic grounds. Any prior decisions of the DRC regarding matters of design or aesthetics shall not be deemed to have set a precedent if the DRC or the DRC feels that the repetition of such actions would have any adverse effect on the community.

RESPONSIBILITY FOR COMPLIANCE

An applicant is responsible for ensuring that all the applicant's representatives, including the applicant's architect, engineer, contractors, subcontractors, and their agents and employees, are aware of these Design Guidelines and all requirements imposed by the DRC as a condition of approval.

TIMING OF COMPLETION

The construction of a residence by a Homebuilder or Improvement by an Owner must be started promptly after receiving approval from the DRC and completed with due diligence. Unless otherwise approved in advance by the DRC, each single-family residence or Improvement must be completed on or before the expiration of one hundred and eighty (180) days after commencement of construction.

CHAPTER 3

WHAT WILL BE FOUND IN THIS CHAPTER:

Architectural Concepts
Architectural Design
Planning Area Standards

Comprehensive Standards For:

- Walls and Foundations
- Windows and Doors
- Details
- Key/High Vis Lots
- Building Articulation
- Porches, Decks, and Balconies
- Roofs and Chimneys
- Mechanical and Lighting
- Accessory Buildings

ARCHITECTURAL AND AESTHETIC STANDARDS

Architectural diversity and authenticity are fundamental to the identity of Ponder. The architectural style and character should harmonize with the surrounding natural environment while reflecting the rich history and cultural heritage of North Carolina.

The community’s architectural approach aims to cultivate a refined aesthetic, seamlessly integrating elements of indigenous Wake County and Raleigh architecture. While there is no singular formula for achieving this vision, adherence to key design principles will foster a diverse yet cohesive architectural landscape, allowing for creative and contextually appropriate solutions.

Style-appropriate elements are encouraged as a means of streetscape variation. All should be designed as consistent components of architectural design that considers all sides of the building. Where architecturally appropriate these include:

- Balconies, porches, patios, decks, including covers and trellises
- Simple forms, shapes that will also help to limit punctures of the thermal envelope
- Columns, rails, openings, and archways compatible with the architectural style
- Chimneys in form and materials to match building style

Architectural Detailing: The exterior detailing shall be consistent with the style and be designed on all building sides. Where architecturally appropriate, these details can include:

- Trim: barge board, gable posts, louvers, brackets, dentils, pilasters, etc.
- Brick: quoining, window/door headers, pilasters, banding, soldier coursing, base corbelling, etc.
- Stone (natural and synthetic): keystones, sills, accents, etc.
- Siding: when it is used on the upper story a continuous 6” minimum frieze board and 6” corner trim is required

PLANNING AREA STANDARDS

Planning Area Character

It is intended that parks and other improved and natural open spaces provide recreation/social spaces throughout the community.

Building Character

Buildings are to be residential in scale and aligned along the street to create a visual rhythm or streetscape. Building façades are to incorporate a three-part hierarchy of base, middle, and top. Accessory buildings, landscape walls, fences, and other structures are to be of similar design and construction to the main dwelling structure.

Massing and Scale

The scale and massing of each building shall reflect the architectural style and intent that relates all parts of the structure. The design of the structure should be a consideration of all four sides.

Architectural and Color Diversity

The same elevation and color scheme will not be approved within six houses / lots in lieu of more diverse requirement of three (3) houses on each side of the street and will only be reviewed and approved otherwise by the DRC on a case-by-case basis.

Building Articulation

Articulation of wall and roof planes will be required. No wall plane shall be greater than 40' in length without a break in plane, vertically or horizontally, a maximum that pertains to all sides of the building, for upper and lower levels. A minimum of one window per upper and lower levels on all side elevations is required. The appropriate articulation of each building, where architecturally appropriate, will include:

- Articulation of wall and roof planes
- Simple, strong forms
- 3-story maximum
- Thematic architectural elements
- Correctly scaled porches, entries, decks
- Architecturally appropriate roof forms
- Architecturally appropriate door and window styles and groupings

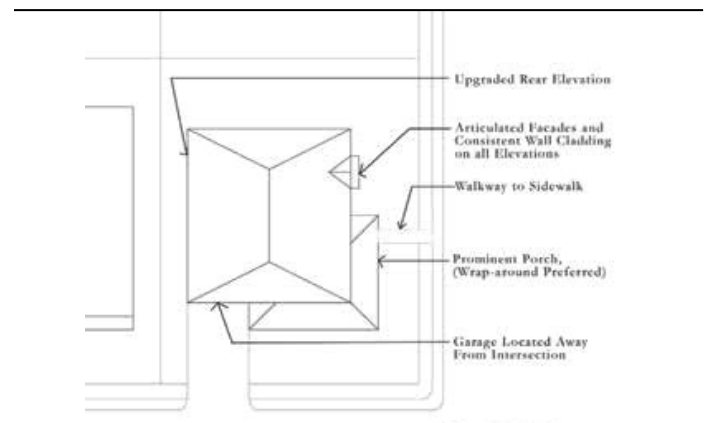
Setbacks & Building Heights

All residential setbacks are based on the size of the lot per current building codes and zoning requirements. All setbacks and building heights must conform to the approved Ammons Acres PUD 22-02.

Key or High-Visibility (HV) Lot Standards

Each community section of Ponder will be evaluated by the DRC for specific "High- Visibility" designations and a coordinating site plan provided for builder reference. Additional design requirements will be placed on these lots according to their status as (HV) lots based on the following:

- Corner lots
- Lots on main thoroughfares
- Reverse frontage to public road
- Lots adjacent to common areas or open spaces or amenities
- Lots which back or flank onto areas highly visible to public uses such as open space, roads, parks, schools, public walkways, institutional uses.



The exposed side and/or rear elevations of these dwellings shall be consistent with the front elevation of the dwelling. This should include, but not limited to, features such as:

Homes with Special Elements at Corners

- Enhanced window style and detailing
- Detailing consistent with the front elevation wrapping of trim, veneers (brick, stone, shakes, etc.)
- Introduction of gables, shutters, dormers, or other features to enhance the roof form

CHAPTER 3

Corner Lots

Corner lots will have to pay attention to detailing on all elevations. Materials that are used on the front will continue around the sides and the back. Enhanced detailing and window treatment will also be featured. Wraparound porches are encouraged. The garage and driveway will be placed away from the intersection to maintain a clear sight triangle at the corner and to de-emphasize garage and drive when possible. Additional landscapes shall be required.

Corner Townhomes

Distinctive design features at end units of townhomes are encouraged to create a sense of place, such as wrap-around porches, tower features, bay projections, second-story balconies, etc.

Exterior Building Materials and Masonry Requirements

The exterior of each primary residence on a Lot shall consist of the following exterior building materials:

- **New Materials.** All building materials must be approved in advance by the DRC and only new building materials may be used for constructing any Improvements.
- **Masonry Materials.** Brick shall be coursed in running bond, common bond, or Flemish bond. Accent patterns shall be used at sills, lintels, chimneys, etc. Natural stone can be used. Synthetic stone from the following manufacturers is also acceptable.
- **Exterior Standards.** The permitted foundation types within Ponder include crawlspace foundations and slab-on-grade foundations with a continuous stem wall. The stem wall must be constructed to a minimum height of 18 inches, with the maximum allowable height dictated by applicable building codes. Slab foundations require a minimum finished floor height of 12" on front elevation. Clarify finished floor heights for crawlspaces of 18" FFE minimum also as stem walls 18" FFE and standard slab on grade of 12" FFE. In certain cases, variances may be granted based on product type, subject to review and approval on a case-by-case basis by the DRC.

- **Calculation of Percentages.** In calculating percentage of exterior wall area, the area of windows and window frames, doors and door frames, eaves, soffits, dormers, columns, recessed entryways, foundation and similar areas are excluded from the calculations and may utilize any of the materials listed in the applicable component exterior wall standards, when construction with the required masonry materials is not reasonably feasible.
- **Stucco.** The use of parging or stucco as an exterior treatment is permissible under specific conditions, primarily for slab-on-grade stem wall construction. When applied, the stucco or parging must be painted to match the primary exterior siding or adjacent materials to ensure architectural cohesion. Each submittal will be evaluated individually, and approval will be granted at the discretion of the DRC. Furthermore, designated lots may be subject to additional foundation and exterior finish requirements, which will be determined through a case-by-case evaluation.

Parging is permissible exclusively on slab-on-grade stem walls, with a maximum exposed height of 24 inches above the finished grade on the front elevation and porches. If the front elevation or porch height exceeds 25 inches, brick or stone veneer must be utilized as the foundation material to ensure architectural consistency and durability.

The following requirements apply to parging:

- **Application Method:** Parging must be applied using a two-coat finished system, ensuring that the block foundation (if applicable) remains entirely concealed beneath the surface treatment.
- **Parging shall be painted and/or through body color** as approved per the final exposure, architecture of the house, exterior color scheme/palette, etc.
- **Material Pairing:** Parging is only permitted when combined with stone veneer or, in exceptional cases, brick, as determined by the Design Review Committee (DRC).
- **Crawlspace Applications:** Parging may be considered for crawlspace construction only on a case-by-case basis.

- **Lot Location Restrictions:** Parging is restricted to interior lots and is prohibited on corner lots except in rare circumstances. If approved for a corner lot, the porch must be constructed with brick or stone veneer, which must extend along the street-facing elevations to the rear of the home, ensuring architectural continuity in high-visibility areas.
- **Public-Facing Foundations:** Any foundation wall facing public streets must be brick or stone veneer to enhance streetscape aesthetics and maintain consistency with Ponder’s architectural vision. Masonry water tables, full height masonry or other similar detailing on front elevations shall wrap corners a minimum of 2’. Note – wrap not required on lots smaller than 40’.

Wall Materials

Acceptable exterior wall materials include standard-size brick, natural stone, and high-quality synthetic alternatives from designated manufacturers, as well as wood clapboard and fiber cement siding (e.g., Hardie siding). Vinyl siding is strictly prohibited. To maintain architectural integrity, the primary wall cladding material must remain consistent across all elevations to prevent the appearance of a false front façade. The following guidelines must be observed:

- **Material Wrapping:** Veneers such as brick, stone, or shakes must, include foundation elements. On corner lots and those adjacent to common areas, veneers must extend to the rear elevation or a major architectural element, as determined by the DRC.
- **Logical Material Transitions:** Transitions between different materials must occur at natural break points or wall openings to maintain architectural coherence.
- **Base, Middle, and Top Articulation:** Material variations should be used strategically to define the building’s architectural hierarchy, enhancing the relationship between the foundation, main façade, and roofline.
- **Secondary Material Integration:** Secondary materials should be chosen to complement the primary cladding, reinforcing the home’s design while ensuring durability and visual harmony.
- **Requirement for minimum 2’ wrap of veneers** (masonry, board and batten, shakes, etc.) for interior lots also.

- **NOTE:** DRC, in its discretion, may approve the use of “decorative siding”. “Decorative siding” includes vertical board and batten, shakes, scallops and other decorative siding facades as may be approved by the DRC on a case-by-case basis in its discretion. In no event shall horizontally lap siding be approved as “decorative siding”. All siding materials shall be manufactured out of fibre-cement (e.g., Hardi-Plank or Cemplank) or an equivalent material approved by the DRC.
- **Trim Specifications:** All trim utilized in conjunction with siding must have a minimum thickness of 5/4 inches to provide substantial definition and shadowing. Window, door, etc. trim should be on minimum of 4” wide jambs and 6’ headers with drip cap/sediment detail. Trim to be evaluated per each specific architecture style.
- **Cantilevered Elements:** Minor architectural projections, such as bay windows and window seats, may be cantilevered provided they do not exceed 24 inches. Any cantilever extending beyond 24 inches requires the integration of decorative corbels to support the overhanging structure and maintain architectural balance. Front walls are only allowed to cantilever over areas such as the porch and garage. Second-story side walls cannot cantilever over the first floor.

Windows and Doors

Windows and doors serve as integral design elements that contribute to the overall architectural massing and stylistic coherence of a home. Their design and placement must be carefully considered on all elevations to ensure a balanced and harmonious façade. To maintain architectural integrity, a minimum of one window or door is required on all side elevations at both the upper and lower levels. Additionally, windows and doors should be thoughtfully detailed in accordance with the home’s architectural style. Fully recessed openings are permitted, as are strategic projections that enhance wall articulation and depth.

CHAPTER 3

Entrances

The primary entrance must be oriented toward the main street and should be accentuated through architectural elements such as porches, roof overhangs, or other focal points to establish a clear and inviting point of entry.

Door Materials and Styles

Appropriate door materials include wood or anodized aluminum. Door color shall match with elevation and architectural style of house. Appropriate doors (if first conforming to a particular style) include raised panel, detailed entry, accent doors, and French doors. In general, doors should be hinged (except garage doors). Sliding glass doors are only allowed on rear or interior side yard elevations. Storm and screen doors are allowed; however, there must be full glass panels with no horizontal/vertical structural framing and shall match the main door color.

Garage Doors

The visual prominence of garage doors should be minimized whenever possible to maintain the architectural integrity of the home. Strategies to reduce their impact include:

- Side or rear placement to prevent the garage from dominating the front elevation.
- Selecting doors that blend seamlessly with the main cladding material.
- Staggering garage bays to break up long, uninterrupted wall lines.

For homes with front-facing garages, divided garage doors are encouraged to enhance the aesthetic appeal. Carriage-style hardware and glazing elements are required for all overhead garage doors. Additionally, garage doors must be paneled and incorporate varied header or lintel treatments to enhance architectural refinement.

Window Material

Windows shall be made of wood, vinyl clad wood, vinyl, or metal. Windows can be single, double, or triple hung. Appropriate window detailing (if first conforming to the architectural style of the house.) includes:

- Color-accented window frames to enhance visual interest and cohesion.
- Wood or vinyl shutters in a coordinated color, correctly proportioned and affixed in an authentic manner.
- Accent windows that contribute to stylistic variation.
- Transoms and/or window groupings to create a more dynamic façade.
- Bay windows and window seats that enhance depth and articulation.
- Consistent window themes with unified head and sill detailing across all elevations, ensuring a cohesive architectural language.
- Window screens should only be installed on side and rear elevations. Their use on front and street-facing elevations is discouraged to maintain aesthetic integrity.

Shutter Material

Shutters need to be sized to window and attached authentically (positioned correctly but not necessarily operable) and can be wood or sturdy vinyl with louvers or raised panels. Shutters are only allowed on single windows, except where appropriate to an architectural style and as approved by the DRC on a case-by-case basis.

High Performance Windows

We encourage the use of high-performance window frames and window glazing's as they can minimize home heating and cooling loads.

Prohibited Elements

The following architectural elements are prohibited unless expressly approved in writing by the DRC.

Roofs

- Minimum 6:12
- Excessively pitched roofs.
- Mansard, gambrel or chalet roofs.
- Flat roofs – may allow with modern architecture.
- Roofs that are too steep or too shallow for the style of the residence.
- Shed roofs except as incidental to the main roof.

Design Elements

- Unnecessarily prominent chimneys and other roof penetrations.
- Vents or skylights facing the right-of-way.
- White or bubble skylights.
- Mirrored glass.

Materials and Colors

- Wood & Vinyl siding (wood siding accents if approved by the DRC).
- Dark Gray brick.

Window Coverings

- Foil in any window of the residence.
- Non-permanent window coverings such as butcher paper, sheets, blankets, newspaper, etc.
- Temporary coverings may, however, be allowed for a period not to exceed 90 days following the date of closing.

Variance

Ponder may authorize variances from compliance with any of its design guidelines, procedures, lot setbacks (with town approval), etc. when circumstances such as topography, natural obstructions, hardship, aesthetic, or environmental considerations are required, but only in accordance with duly adopted rules and regulations. No variance shall be effective unless in writing, be contrary to the covenants or preclude Ponder and the Design Review Committee (DRC) from denying a variance in other circumstances. For the purposes of this section, the inability to obtain approval of any governmental agency, the issuance of any permit, or the terms of any financing shall not be considered a hardship warranting a variance.

For any variances other than as required by the Ponder community requirements, design guidelines, setbacks, etc., each Builder and/or Homeowner shall request such variance in writing and with the required DRC Variance form for Ponder and Design Review Committee (DRC) review and approval in writing prior to proceeding with such requested variance.

Variances included, but are not limited to, easement encroachments, alterations to design guidelines' requirements for a specific item revision, etc.

Easements

Certain lots may be subject to various easements, including private utility drainage easements, private drainage easements, public utility drainage easements, public utility sewer easements, public utility easements, landscaping easements, sign easements, sight easements, or other similar common area or utility easements. Any structures or vegetation within these designated easement areas, such as patios, decks, fences, playground equipment, sheds, bushes, trees, grass, or other landscaping, may be disturbed or removed by the easement owner or beneficiary if necessary for accessing, maintaining, installing, repairing, reconstructing, or removing facilities within the easement. The lot owner assumes full responsibility, at their own expense, for replacing, reinstalling, rebuilding, or restoring any improvements impacted by the easement owner's activities. Additionally, the lot owner is prohibited from making any modifications to the slope or grade within the easement area that could impair or alter established drainage patterns.

Porches, Decks, Balconies and Accessory Buildings

Porches & Decks

Building setbacks and other structural restrictions are determined based on lot size and orientation to ensure cohesive neighborhood planning. Porch columns must maintain stylistic and proportional consistency with the architectural character of the home. [Additionally, an exposed beam or frieze is required at the top of all support columns, visible beneath the soffit, to enhance structural integrity and design continuity.]

CHAPTER 3

For railings, balusters, and spindles, all front and side applications, as well as corner lot side and rear elevations, must incorporate high-quality materials such as painted or stained carpentry-grade wood, brick, or metal. Cable rail systems may be permitted, provided they align with the overall aesthetic of the residence.

While only the materials are approved for primary architectural elements, specified synthetic materials from designated manufacturers may (upon DRC approval) be permitted for rear applications to maintain durability and visual consistency.

Porch Materials

- Primary porch construction materials shall include concrete, wood, brick, or stone.
- Mill-finished aluminum is prohibited as a porch construction material.
- Structural elements may utilize pressure-treated wood, but exterior surfaces must be finished before closing with painted or stained wood trim for a refined presentation.

This approach ensures a consistent and architecturally appropriate streetscape, reinforcing the community's commitment to high design standards and enduring quality.

Porch Design

- **Finish and Dimensions:** All porches must be either painted or stained and shall have a minimum depth of six feet to ensure functionality and aesthetic appeal.
- **Multi-Level Porches:** Two-story porches are permitted, enhancing architectural variation and providing additional outdoor living space.
- **Coverage Requirement:** A minimum of 70% of all single-family detached lots must feature porches, reinforcing a pedestrian-friendly streetscape.
- **Corner Lot Enhancements:** Wraparound porches are strongly encouraged for all single-family detached and attached corner lots to enhance curb appeal and establish a cohesive architectural presence.

Railing Specifications:

- Top and bottom rails shall be centered on pickets or sawn balusters.
- Bottom rails must be vertically proportioned and elevated above the porch floor.
- The maximum spacing between pickets or balusters shall be three inches for safety and visual consistency.
- Sidestep railings must match the front porch railing in design and material.

Lattice Screening:

- Required for all porches and decks elevated more than two feet above finished grade.
- Lattice must be constructed of pressure-treated wood (minimum 1" x 2") or approved vinyl with a three-dimensional wood-like appearance (flat vinyl is prohibited).
- Lattice shall be square patterned (diagonal lattice is not permitted) and painted or stained to match the home's trim color.

Deck Design

Material Selection:

- The use of composite decking materials with recycled content is strongly encouraged to promote sustainability.
- Pressure-treated wood may be used for structural components but is discouraged for decking surfaces to enhance longevity and aesthetic quality.

Railing and Cap Requirements:

- Deck railings and caps that are visible from adjacent streets or public walkways shall be painted or stained to match the predominant trim color of the main building. Alternative finishes may be approved on a case-by-case basis by the Design Review Committee (DRC).

Deck Placement

- **Yard Location:** Decks are permitted only in rear or side yards and must be screened to a height of 5-6 feet when visible from the street.
- **Vertical Restrictions:** No decks shall be constructed above the first floor of the main residence to preserve the architectural scale and privacy of neighboring properties.

Ceilings

Shall be fiber cement panels with no exposed joints or bead board, including bead board panels, installed perpendicular to primary frontage to eliminate joints.

Flooring

The flooring on front applications will be painted or stained material including carpentry level wood composites (Trex, Geodeck, Eon) or masonry (brick, slate, etc.).

Pressure treated pine decking (i.e. 5/4" smooth profile decking) is allowed for front and rear applications and will be reviewed and approved by the DRC only on a case-by-case basis. The use of composite decking material with recycled content is encouraged for rear applications.

Pressure-treated material may be used for structural members but is discouraged for decking.

Structural Members

Pressure-treated pine will be allowed for structural members that are not highly visible. Screening will be required under any deck that exceeds 2' in height above ground. Screening may include landscape plantings and/ or lattice. Lattice should be wood (2"x2" minimum suggested), vinyl allowed if having the three-dimensional appearance of wood (flat vinyl is not allowed), square type and color shall match trim color of house, stain, or accent color as approved by the DRC on a case-by-case basis.

Balconies

All balconies should be integrated into the overall design and tied to the structure by setting it into the building or using a well-detailed bracket system that is appropriate in scale and architectural style. Balconies, like porches and decks, should have detailing that adds visual interest to the building.

Accessory Buildings

Owners will generally be permitted to erect one (1) accessory structure on their Lot providing the accessory structure, such as a pool cabana, garden building, storage building, or doghouse is approved in advance by the DRC and otherwise complies with the applicable Development Area Declaration. In no event will the total square footage of any approved accessory structure be interpreted to reduce the minimum square footage requirements of the principal residential structure as set forth in the applicable Development Area Declaration or these Design Guidelines. Structures shall match the existing house, materials, details, colors, etc.

No permitted accessory building may exceed eight feet (8') in height as measured from the finished grade of the Lot to the highest portion of the permitted accessory building or may be larger than one hundred twenty square feet (120') as measured by the dimensions of the foundation of the permitted accessory building.

Temporary storage structures also known as "pods" are allowed with the prior written approval the DRC provided that:

- Structure is located in the driveway Lot
- Structure is not placed on any Lot for more than seven (7) days.

The DRC shall be entitled to determine, in its sole and absolute discretion, whether an accessory structure on any Lot complies with the foregoing requirements relating to size, height, fence enclosure and construction materials. No accessory structure will be approved unless a principal residential structure has been constructed on the Lot or the accessory structure is being constructed at the same time as the principal residential structure. The DRC may adopt additional requirements for any accessory structure on a case-by-case basis as a condition for approval.

Building Height

Unless otherwise approved in advance writing by the DRC, no building or residential structure may exceed thirty-five feet (35') in height as measured from the finished grade of the Lot to the highest portion of the proposed Improvement. Proposed heights must be compatible with adjacent structures and be compatible with existing or anticipated structure heights on Lots located above or below the Lot on which the proposed residence will be constructed and must be approved in writing by the DRC, prior to commencement of construction.

Views are neither guaranteed, preserved nor protected within Ponder.

Notwithstanding anything herein to the contrary, no two-story residences shall abut to an arterial roadway or collector roadway.

CHAPTER 3

Roofs and Chimneys

The pitch, color and composition of all roof materials must be approved in advance in writing by the DRC, prior to commencement of construction. Roof vents and other penetrations shall be as unobtrusive as possible and must match the principal color of the roof unless approved in advance by the DRC.

- **Accepted Roof Pitch:** The main roof pitch of the primary residence erected on a Lot shall have a Minimum roof pitch of 6:12 required on main roof area. A minimum overhang of 12" for all roofs is required. Minimum roof pitches shall be determined by architectural style. Steeper pitches than the minimums are also encouraged, particularly on side slopes, for a variety of forms along the street. Secondary roof forms are also allowed and encouraged where architecturally appropriate and conducive to the building design. Flat roofs are allowed over entry porticos and porches but should be accompanied by an architectural cornice with a minimum of 24" in height.

The preferred location of skylights, if proposed, is on the rear or side slope of the roof. Also, they should have a flat profile. All vent stacks, gas flues, and roof vents should be located on the rear slope of the roof wherever possible and should be prefinished to match the roof color.

- **Accepted Roof Materials:** Roofing materials shall be limited to thirty (30) year warranty. Standing seam metal roofing will be allowed as secondary roofing material.
- **Gutters and Downspouts:** In addition, all gutters and downspouts shall be designed to reflect the architectural style of the building. Styles may be exposed or concealed. Designs may include, but are not limited to, full face, half round, concave, or others. Exposed gutters, downspouts, and flashing shall be painted to match adjacent roof, trim, or wall materials. Materials such as copper will be allowed if architecturally appropriate.

Chimneys

The architectural style of chimneys must be consistent with the overall design of the home, ensuring aesthetic harmony and structural integrity. Chimneys situated on the front

elevation, those extending through the roof from the center of the house, or those positioned on the side of a home located on a corner lot must be constructed using masonry. Additionally, any bump-out in these locations must extend fully to the foundation, preserving architectural continuity and structural support.

All chimney flues must be constructed from metal or tile, ensuring durability and compliance with fire safety standards.

For homes on interior lots, as well as the interior-facing side of chimneys on corner lots (the side not visible from the roadway), a boxed-out chimney design finished with siding may be permitted, subject to approval by the DRC.

Prohibited Elements:

- Excessively pitched roofs.
- Gambrel or chalet roofs.
- Roofs that are too steep or too shallow for the style of the home.
- Shed roofs except as incidental to the main roof.
- Stove-pipe chimneys, prominent chimneys or other random roof penetrations.
- Vents or skylights facing the street.
- White or bubble skylights.

Driveways and Walkways

The design of all driveways and walkways must be approved in advance by the DRC. Aggregate driveways are prohibited, and Asphalt lead walks are prohibited.

Driveway Material

Driveways and parking areas must be constructed using materials that complement the architectural character of the property, including concrete, exposed aggregate concrete, bituminous surface treatment with pea gravel aggregates, concrete pavers, or brick. In locations where driveways are situated at the front of the house, the use of textured or specialty pavement is encouraged to enhance visual appeal. Additionally, the materials selected for driveways should be coordinated with those used for lead walks to maintain a cohesive and aesthetically pleasing design.

Driveway Design

Single-width driveways shall have a maximum width of 12 feet. At the point where the driveway meets the garage entrance, its width may extend no more than 2 feet beyond the garage opening. Driveways must have a minimum length of 10 feet, and those measuring less than 18 feet in length are required to include an additional parking pad with dimensions of 10 feet by 18 feet. To ensure safe and functional access, the maximum allowable slope for driveways is 9%, with slopes below 5% being recommended for optimal usability.

Parking Area Designation

Parking areas must be visually screened from streets and neighboring properties using a combination of hedge plantings, walls, or fences, with a minimum height of 36 inches. The landscaping in these areas should primarily consist of evergreen plantings to ensure a consistent, year-round visual barrier. For large parking areas serving interior parking lot landscaping must comply with the requirements established by the local jurisdiction. Additionally, these lots must be screened from public streets, walkways, and access ways using a combination of evergreen hedges, walls, or fences, also maintaining a minimum height of 36 inches to provide adequate visual separation.

Sidewalks

Sidewalks and Front walkways can play an important role in the connection and transition between the public streetscape realm and the semi-private realm of the front edge of the porch or face of the building. This connection can be emphasized with special pavement, texture, and accent plantings.

Each Owner of a Lot must build or cause to be built on such Owner's Lot, (as required by Ponder PUD, and Town guidelines) a concrete sidewalk complying with the specifications set forth in the applicable plat and the Covenant in conjunction with and at the time of construction of the residence constructed on such Lot. Sidewalks shall extend from Lot line to Lot line and shall follow the pattern of the incoming sidewalks (as proposed or built) on adjacent Lots. Placement of sidewalks in public rights-of-way around the terminus of cul-de-sac shall follow the pattern of the incoming sidewalk (as proposed or built) on adjacent Lots and shall be placed four feet (4') from the curb line to ensure a continuous walk around the terminus.

Each Owner shall be responsible for the maintenance and repair of the sidewalk adjacent to such Owner's Lot after construction and shall maintain such portion of the sidewalk in good condition.

Walkway Materials

Walkways leading to homes shall be constructed from materials such as brick, concrete, or flagstone, ensuring consistency with the material used for the front stoop or porch of the main building. Alley-loaded houses and designated lots must have lead walks extending from the main entry door or porch stoop to the primary street sidewalk, while this feature remains optional for other homes, including those with front-load garages. The use of asphalt for lead walks is strictly prohibited. Any steps along the lead walk must be constructed from the same material as the lead walk, front steps, or stoop of the main building, as mixing materials for steps is not permitted.

Walkway Design

In terms of design, lead walks should connect to the street sidewalk, with steps provided where significant elevation differences exist. These steps should be grouped in comfortable and aesthetically appropriate clusters, ideally positioned at the front stoop or porch of the house or along the street line. The incorporation of perrons, which are single steps spaced apart, or multiple small groupings of one or two steps, is allowed. Additionally, handrails for steps must be consistent with the design and materials of the railings used on the front porch or stoop to ensure visual harmony.

Garages

All garages shall be approved in advance in writing prior to construction by the DRC.

Placement

Each garage shall have a minimum width, as measured from inside walls, of nine feet (9') per car and a minimum depth for each car of twenty feet (20'). Two-car garages are to be the standard. One-car garages are acceptable but shall be set back 18' from the alley easement or provide 9' x 20' parking pad adjacent to 1-car garage. Any garage designed for a larger capacity requires approval from the DRC. (i.e., 3-car garages).

CHAPTER 3

Detached and Partially Attached Garage

Detached (maximum 24' x 24') or partially attached garages are also encouraged wherever possible to minimize the appearance of the garage from the street. They should be of complimentary design, quality, material, and color to the main dwelling. Detached or partially attached garages on corner lots or other high exposure lots should be oriented to the minor street and will be of increased design quality consistent with the main dwelling. This shall include additional fenestration, trim, detailing, windows/glass in garage doors and 2-door appearance. Garages on corner lots that have alley access also have the option for side entry.

Attached Front and Side Load

Front-load and side-street garages must maintain the appearance of a two-door design, with carriage-style hardware required on all garage doors. To minimize the visual prominence of the garage, additional architectural elements such as brackets, trellises, and roof overhangs are encouraged. The color of the garage doors must be compatible with the primary, trim, or accent color of the house, with darker tones preferred to create the illusion of depth and reduce visual impact. A front-facing garage must be set back a minimum two feet from the front façade of the home, as measured from the porch, and no garage door may be positioned closer than 17.5 feet from the front property line. Corner side-entry garages must be set back at least 18 feet from the side right-of-way. Driveways should not be placed directly adjacent to one another whenever possible to maintain a balanced streetscape. In some cases, additional landscaping may be required to mitigate the visual impact of driveways and enhance the overall aesthetic integration with the surrounding environment.

Prohibited Elements:

- Carports.
- Open (not enclosed) automobile storage.

Exterior Lighting

Exterior lighting must be approved in advance by the DRC. All lighting installations shall adhere to applicable town and county ordinances. Streetlights will be installed in accordance with the approved site plans to ensure consistent and appropriate illumination along public streets. Security lighting may be allowed in rear yards, provided it is thoughtfully integrated into the overall architectural design of the building to maintain aesthetic cohesion and minimize visual disruption / light pollution.

Direction. Lighting must be white in color (i.e. LED, solar, incandescent, metal halide, fluorescent, quartz, or halogen). No exterior light whose direct source is visible from a street or neighboring property, or which produces excessive glare to pedestrian or vehicular traffic will be allowed. Exterior mounted lamp housings must shield lamp (maximum 75 watts) from view and the direct light. Lanterns or porch lights at the front entry are required. All light fixtures attached to the dwelling should match the chosen architectural style and be properly proportioned to the façade.

Number. The number of exterior light fixtures for the residence and the landscape may be limited in order to prevent excessive lighting.

Design: Each home shall feature lanterns or porch lights that are architecturally consistent with the overall design of the residence, with fixtures proportionate to the building façade. All exterior lighting must emit a white light, produced by sources such as LED, solar, incandescent, metal halide, fluorescent, quartz, or halogen lamps. High-pressure sodium lighting, which produces a yellow-orange hue, is strictly prohibited. To minimize light pollution and ensure neighborly consideration, all lamps must be shielded and directed to prevent glare or light spill-over onto adjacent properties. Solar and other landscape lighting installations are subject to review and approval by the DRC on a case-by-case basis.

Individual Lamp Posts

Individual lamp posts are allowed in front yards, provided they comply with town ordinances. During the review process, considerations will include their relationship to neighboring houses, porches, and windows to minimize visual disruption.

Placement: Lamp posts must feature a single post and light fixture; multiple posts or lights are not permitted. The maximum allowable height for a lamp post is seven feet. Solar lamp posts will be subject to case-by-case review and approval by the Design Review Committee. All lighting emitted from lamp posts must produce a white light, using sources such as LED, solar, incandescent, metal halide, fluorescent, quartz, or halogen lamps.

Post Materials: Lamp posts must be constructed from metal and finished in black, with a semigloss or gloss coating. Other colors that complement the home's exterior finish may be considered, subject to review and approval by the DRC on a case-by-case basis. Additionally, lamp posts made of wood, stone, or brick will be evaluated individually by the DRC for approval.

Holiday/Seasonal Lighting

String lights (including the larger “market lights”) are allowed in the backyard of a residence only and shall be attached to non-conductive poles (metal not allowed). String lights may only be set to a white light setting. In consideration of adjacent properties, string lights must be off by 10:00 p.m. on weekdays and midnight on weekends and holidays.

The installation of permanent low-profile holiday lights (such as Govee /Everlights) into gutters and eaves must be submitted to the DRC before installation. Permanently installed, approved lights may be used to celebrate the following holidays: (1) Valentine’s Day; (2) Saint Patrick’s Day; (3) Independence Day; (4) Halloween; and (5) Fall/Winter Holiday Season (November 1st – January 15th). Seasonal colors must be used and no chasing, dynamic, or strobe lights are permitted. The lights, while on, must be static and continuous.

Setbacks

Lot Setbacks

All plans submitted for review must include the total impervious surface calculation per lot, which includes building footprint, garage footprint, and any paved surface (driveway, walk, patios, etc.). All plans must be approved.

Single-Family Detached & Townhomes: 49’ and Less

- Front Setback: 10’ (20’ maximum)
- Side Setback: 3’
- Corner Side Setback: 10’
- Rear Setback: 20’ Front Load garage lot condition (no alley lots)
- Rear Setback Alley: 18’
- Garage Setback Front Load Condition: 2’ from front façade of the house (measured from porch)/17.5’ from front property line.

Single-Family Detached: 50’- 59’

- Front Setback: 10’
- Side Setback: 3’
- Corner Side Setback: 10’
- Rear Setback: 20’ Front Load garage lot condition (no alley lots)
- Rear Setback Alley: 18’
- Garage Setback Front Load Condition: 2’ from front façade of the house (measured from porch) 17.5’ from front property line.

Townhome & Alley Load:

The massing and design of each townhome block rather than the individual units will be reviewed and approved. The following design criteria apply:

- A variety of forms and materials is encouraged; the mixing of incompatible architectural elements or styles is not allowed.
- The overall streetscape (intersection to intersection) shall display massing and design continuity while also incorporating variety.

CHAPTER 3

- Sufficient wall articulation is required to avoid large unbroken expanses of roof or wall planes including the stepping of units and the use of bays and gables where appropriate.
- Compatibility in height and massing between adjacent dwellings and dwellings on the opposite side of the street is required.
- All townhome buildings shall provide detailed design along with all primary elevations and elevations facing a public street or open space. Detailed design shall be provided by using at least (5) of the following architectural features as appropriate for the proposed building type and style (may vary features on rear/side/front elevations): Dormers, gables, recessed entries, covered porch or stoop entry, cupolas or towers, pillars or posts, eaves (minimum 10" projection which may include gutter), off-sets in building face or roof (minimum 16"), window trim, bay windows, balconies, and decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, and similar features).

Solar Energy Devices

All solar collectors require approval from the DRC, with a detailed drawing submitted to indicate their placement on the roof and their visibility from streets and neighboring properties. Collectors must be positioned as inconspicuously as possible, preferably on the rear of the home or the side with the least public exposure. If placement on the front of the home is necessary, a higher standard architectural panel, such as an all-black design, may be required to maintain aesthetic consistency. Installation is restricted to the main roof and is not permitted on front dormers, nor may collectors be free-standing or ground mounted. All efforts must be made to conceal plumbing and structural supports, which may require full encasement of the collectors. Any exposed metal components must be painted to match the roof color, and visible piping should be minimized, with no piping extending down the side of the dwelling. Ideally, collectors should be installed flush with the roof surface. Any tree removal necessary to improve solar exposure must comply with established tree removal guidelines, and the topping or removal of trees within association common areas and greenways is strictly prohibited.

Satellite Dishes & Antennas

Satellite dishes shall be permitted and considered approved, provided they do not exceed a diameter of three feet. They must be installed in a discreet location on the property where an acceptable signal can be received while remaining screened from view of adjacent residences, streets, and common areas. All installations must adhere to the Community-Wide Standard and the Architectural Guidelines to ensure consistency with the overall aesthetic and design integrity of the community.

No antennas, television or radio masts, towers, poles, or aerials may be mounted or erected.

HVAC/Meters Screening

No air-conditioning apparatus may be installed on the ground in front of a principal residence or on the roof of the principal residence. No window air-conditioning apparatus or evaporative cooler may be attached to any front wall or front window of a principal residence or at any other location where it would be visible from any street, any other residence, Common Area, or Special Common Area.

- Air conditioning compressors and any pool equipment shall be enclosed by shrubbery, a fence, or a structural screening element constructed of materials approved by the DRC. The use of lattice as a screening element must be approved by the DRC. If landscaping is used for screening, the air-conditioning units must be enclosed with evergreen shrubs that reach a mature height of 4 to 6 feet, with a minimum height of 3 feet at installation. These shrubs should be planted to provide at least 3 feet of clearance from the units.
- Dryer vents must be located on the garage, side, or rear yard, ensuring they are not visible from the street frontage.
- All meters shall be located on the least visible side, or rear of the house.

Mailboxes, Signs, and Flags

Mailboxes

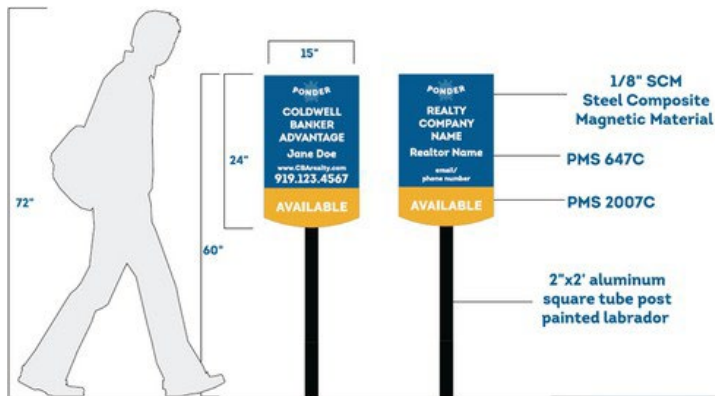
All homes are required to use the standardized kiosks (US postal regulations) for Ponder.

Seasonal Signage

Seasonal items and art are allowed 30 days prior to such “holiday” and to be removed within 15 days thereafter such “holiday.” All such items shall be located within the property lines. The DRC reserves the right to request a homeowner to remove an item if, upon inspection, the DRC considers the item unsightly or a nuisance.

For Sale Signs

- **Builder Signage:** Refer to the executed builder/marketing agreement.
- **Homeowner Signage:** The standardized “For Sale” sign is required when selling a residence. Owner is responsible for the cost of the sign. Failure to utilize the standardized signage may result in fines to the owner. Individual Real Estate Company signs are not allowed at any time. The sign is to be centered on home front yard 5’ inside property line.



For sign requirements and recommended sign companies: contact Ponder HOA for sign specifications and authorized suppliers to obtain the standardized “For Sale” signs for use within Ponder

Sign Riders and Flyer Boxes

- Sign riders and flyer boxes: post riders, such as “Open House,” Under Contract,” Sold,” etc., are permitted. A maximum of one (1) sign rider or one (1) plastic flyer box is allowed per sign. Flyer boxes must be black in color, attached to the signpost. Real Estate Company’s flyer boxes may not be used. No other Real Estate related signs may be placed in the yard.

Neighborhood directional signs are not allowed. Owner is responsible for ensuring the proper location for the sign installation. Signs will be removed without notice if not maintained in a vertical manner and properly maintained location and condition.

Flags

The flag of the United States of America and the State of North Carolina flag are the only flags permitted to be displayed on any unit. Flags should be permanently mounted in a manner to coordinate with the architectural design of the structure and are limited to one flag each, per dwelling. Flags should be no larger than 4’x 6.’ Freestanding poles are not permitted. No flagpole should be used as an antenna.

In addition to the flag of the United States of America and the State of North Carolina flag, each home is permitted to place one garden/decorative flag per unit. The garden/ decorative flag should be no larger than 12.5” x 18.”

Garden/Decorative flags that contain or endorse any sports teams or political party affiliation, election candidate, ballot initiative, and/or election propositions are considered “political signs.” Political signs are not permitted at any time except 45 days prior to a local, state or federal election and must be removed seven (7) days following a local, state, or federal election. Political signs are limited to 2 per dwelling and should be no larger than 24” x 24.”

CHAPTER 3

Barbecue Grills and Outdoor Kitchen Areas

Freestanding barbecue grills are permitted only if they are stored and used in the rear yard space of the Lot that is not visible from the street. Permanent barbecues shall be located only in rear yards and must coordinate with home detailing and must be DRC approved. Portable fire pits are allowed in rear yard.

Fire pit regulations require a minimum 25-foot clearance from structures, constant adult supervision, and an extinguishing source like a garden hose or fire extinguisher. Fires must be contained in a non-combustible receptacle, no larger than 3 feet in diameter and 2 feet in height.

PERMANENT CONSTRUCTED FIRE PIT: Any DRC approval of a fire pit applies ONLY to appearance and to ensure placement is limited to the rear yard and within setback lines per DRC standards. Homeowners are advised to reference State Fire Code which has specified a 25' setback between a flammable structure and larger fire pits for open burning. These fire pits cannot be used to burn rubbish, yard debris or other materials.

Misc Aesthetic Appeal

The DRC may disapprove of the construction or design of a home on purely aesthetic grounds. Any prior decisions of the DRC regarding matters of design or aesthetics shall not be deemed to have set a precedent if the DRC or the DRC feels that the repetition of such actions would have any adverse effect on the community.

Waste and Recycle Containers

All trash and recycling containers must meet established standards and should be stored within a garage or in an area that is screened or landscaped to ensure they are not visible from the public realm. Any method of screening that is not landscaping must receive prior approval. For further details, please refer to the Appendix for additional requirements.

Mechanical Equipment

All exterior mechanical equipment shall be screened from exposure to streets or adjoining lots and, as much as possible, from public view. This includes condensers, meters, satellite dishes, etc. which should be placed at the rear of the building, or least visible area.

Yard Art/ Statuary

Items such as sun dials, globes, sculptures, and other yard art, etc. is restricted to the rear yard only (not allowed on front porches or stoops) and must be visually screened from neighbors.

LANDSCAPE GUIDELINES

WHAT WILL BE FOUND IN THIS CHAPTER:

Landscape and Site Design

Landscape and Hardscape Design Introduction:

- Sustainable landscape principles

Landscape Design – Comprehensive Standards:

- Configuration and massing
- Materials, irrigation, drainage, grading
- Plant categories, street trees

Landscape Design – Residential Standards:

- Defined by lot size, typical layout

Hardscape Design:

- Fences
- Garden walls
- Patios, terraces, and decks
- Lead walks
- Driveways and parking
- Retaining walls
- Lighting, mechanical equipment, and refuse containers
- Swimming pools, accessory structures, site furnishings, and recreation items

Sustainable Principles

The integration of sustainable landscape and site design principles is vital to Wendell Falls to manage natural, economic, and social systems and resources in a way that enhances quality of life. Residential sustainable landscape principles at Ponder include:

- Using native and drought tolerant plant species to conserve water, reduce or eliminate the need for pesticides and fertilizers, minimize maintenance, and to provide food and shelter for native wildlife. In addition, restoration of native landscapes can inspire a sense of place within Ponder as well as the broader Piedmont community.
- Preservation of existing vegetation and minimizing disturbance and compaction of existing soil structure wherever feasible.
- Use of vegetation to provide shade on southern and western exposures to increase energy efficiency of the home. Also, the use of vegetation to shade impervious surfaces.
- Encouraging the use of pervious surfaces to decrease or eliminate runoff and increase stormwater control measures such as pervious pavement, planting beds, and rain gardens.
- Using vegetated filter strips, rainwater harvesting to reduce storm water runoff and maintain water quality. The incorporation of various types of rain gardens or bio-retention areas are highly encouraged on individual lots to reduce the impacts of storm water runoff above and beyond the community wide storm water management measures.
- Use of materials and construction methods specific to the region in context with local history, culture, and climate.
- Maximizing the use of renewable and indigenous resources in site development and management.
- Minimizing the demand for and recycling resources such as water, energy, and materials.

Impervious Surface Limits

Each lot has an impervious surface limit assigned to it based on its product segmentation as assigned and required by Ponder. Each builder will be required to submit impervious surface calculations with each building plan. This limit will include the building envelope and any accessory building or hardscape, so all must be considered in the overall lot layout. A variety of methods can be used to decrease impervious surfaces, including the use of permeable driveway materials and storm water management techniques (i.e. collecting runoff). Open wood decking or the water surface of swimming pools are not considered to be impervious. Lot impervious surface limits will be calculated and confirmed as new phases and developed lots are constructed.

CHAPTER 4

Furniture, Decorations, and Garden Maintenance Equipment

Lawn furniture, including swings/chairs/benches in good repair are allowed on front porches, but must be incorporated into a landscape theme if visible from other Lots. Swings and/or benches are not allowed on driveways/front lawns etc. unless specifically approved for placement by the DRC.

A birdbath of a standard size is acceptable without prior written approval from the DRC.

Notwithstanding exterior temporary holiday decorations, lawn decorations and artificial plants are not acceptable in the front yard of the Lot including pink flamingos, animals, or other designs/statues.

Lawn mowers, edgers, wheelbarrows, etc. may not be left out in view of other Lots except when in use. Bulk/bag material (mulch, topsoil, etc.) may not be left out in view for longer than ten (10) days.

Rainwater Harvesting Systems

The rain barrels must be constructed from either plastic or wood, as metal containers are prohibited. The barrels must be placed at the rear of the home or on the side, provided they are not visible from the street. Rain barrels are not allowed at the front of the home. The maximum allowable size for each rain barrel is 80-gallons. These barrels must be either black, dark green, or brown in color, as dark colors help prevent sunlight from entering the barrel, inhibiting the growth of algae and other organisms. Additionally, measures must be taken to control mosquito breeding, either through the design of the barrel or by screening, to prevent the accumulation of standing water that could attract mosquitoes.

Landscape Inspection

The DRC may, upon the Owner's completion of the installation of landscaping, conduct an on-site inspection of the property to ensure compliance with the approved plan.

Irrigation

The DRC must approve all irrigation systems prior to installation.

Drainage

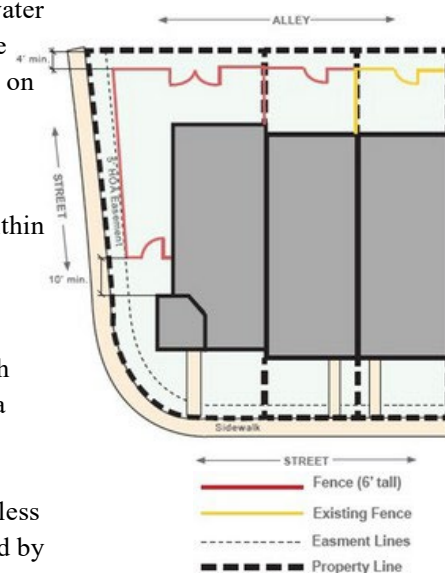
There shall be no interference with the established drainage patterns except by Declarant, unless adequate provision is made for proper drainage, and such provision has been certified by a professional engineer and approved in advance by the DRC.

Site Drainage

Responsibility for proper site drainage rests with the Owner. Each Owner is solely responsible for correcting any change in water flow or drainage caused by the construction of Improvements on such Owner's Lot.

Drainage Improvements

All drainage improvements within any right-of-way must be submitted to the DRC for consideration and must be constructed in accordance with stamped engineered plans by a licensed engineer. Drainage improvements must be maintained by each Owner unless maintenance has been accepted by the Association in a Recorded written instrument.

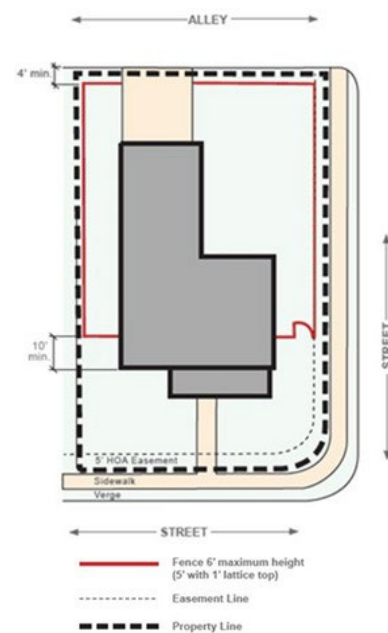


Fencing and Walls

The materials, height, location and construction of all fences must be approved in advance by the DRC.

HOA Easement

Each lot has an HOA easement of 5' measured from the property line. Fences can be placed within this easement a minimum 6" from the property line. If a transformer is located within the easement, the fence must not be placed in front of it, instead the fence should wrap around the transformer to ensure access from the front.



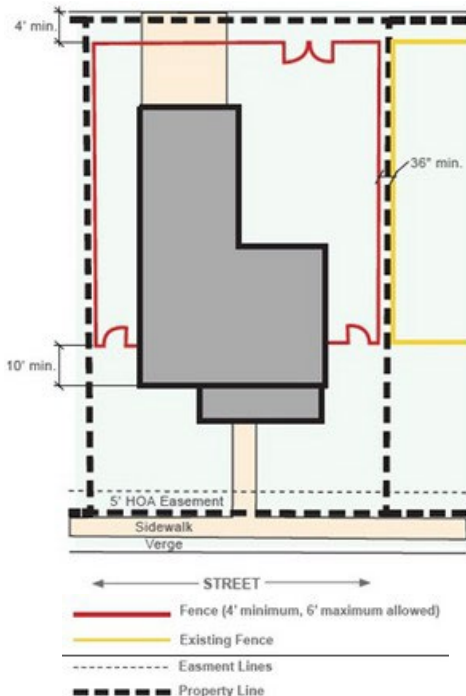
Lot Fencing

Fencing is required on the side and rear property lines of each Lot. Any fencing constructed adjacent to a public right of way shall be installed with the finished (smooth) side facing the right of way.

Fencing

In general, fences shall be made of wood (painted, stained, or sealed) and/or metal (painted or powder-coated gloss or semigloss black). Alternate materials (such as brick, stone, etc.) and colors will be reviewed and approved by the DRC on a case-by-case basis and if they are compatible with the main building and surrounding buildings and portray a sense of permanence and quality. Fence selection should be coordinated with the architectural detailing of the individual lot's house design and detailing. Fences shall be located within property lines and as noted on typical corner and typical interior fence layouts. Refer to fence layouts for additional neighborhood requirements.

Fences shall not impede storm water flow.



Key or High Visibility

Lots will require specific fence types to ensure continuity. See appendix attachment for requirements and visual reference.

Front Yard

A front fence may be allowed on a case-by-case basis, 30" minimum to 36" high maximum. Front yard fences, where allowed, shall also turn downside yards back to the front edge of house. There may be some areas determined by the DRC where front yard fences will not be allowed.

Side Yard

Transition fences are recommended between front yard fences and privacy fences (if existing). Side fences (if proposed by homeowner) shall be installed within the property line to maintain street continuity. Side yards along side streets and public walkways shall have wood or metal picket fences (if proposed by homeowner) the same as if they were front yards or may have screen fences up to a 4' height with a set back from the street-side property line at least 5'. If the adjacent property has an existing fence, locate the new fence 3' from the existing for maintenance.

Rear Yard

Rear yards may have privacy fences not exceeding 6' in height. These privacy fences shall be constructed of wood, aluminum, metal, brick, or combination as reviewed/ approved by DRC. Privacy fences may be installed in side yards (no corner lots) if located a minimum of 10' from the front building (excluding porch) façade. Privacy fences shall be installed within 6" of property line on interior lots. On alley lots 4' from alley as noted on typical interior and typical corner lot fencing layouts. If the adjacent property has an existing fence, locate the new fence 36" from the existing for maintenance.

Plans

Plans submitted for fences or walls must be drawn on an accurate copy of the site plan. In the event of any dispute or disagreement as to the location of a fence on a Lot, the decision of the DRC, in its sole and absolute discretion, will be final.

CHAPTER 4

Fence Setbacks

The side yard fence, at the point where it connects to the house, must be set back a minimum of fifteen feet (15') from the front (does not include porch) corner of the house and no farther from the front of the residence than the midpoint of the house. (10' from rear corner).

- All side yard fences must be installed so that they are perpendicular to the house unless circumstances on site dictate otherwise. Side yard fences must be installed so that the more finished or tailored side should face street and neighboring properties, and supporting rails shall face away from street and neighboring properties.
- Fences along the side yard of corner Lots shall not be placed closer to the public right-of-way than eight feet (8') from such right-of-way and shall not be placed closer than eighteen feet (18') from the back of curb.

Model Home Lots

Once any Lot that contains a model home is conveyed from either the Declarant or a Homebuilder to an Owner, the fencing on such Lot must be modified to meet the fencing restrictions of this section.

Fence Construction and Material

- Solid walls enclosing an entire site.
- Chain link, horizontal rail, and roll wire fencing.

Prohibited Elements

- Approved fence materials include wood, aluminum, and metal.
- Wood fences must be painted, stained, or sealed for longevity and visual appeal.
- Lattice must be constructed of wood with a minimum suggested size of 1"x2". Flat vinyl lattice is not permitted. The lattice should be of the square type rather than diagonal, except for rear applications, and the color must complement the house trim, stain, or approved accent color.
- All fences must feature finished fence post tops or caps for a polished appearance.
- On slopes of 10% or less, fences may either follow the slope or be stepped to align with the terrain.

- Stepped fences should maintain consistent, equal increments along uniform slopes. For slopes greater than 10%, fences must follow the slope using a sloped frame design.

Gates

- Gates must be constructed from materials and designs consistent with the adjoining fence.
- Gate hardware should be durable, rust-resistant, and finished in black, brass, or bronze.
- To ensure pedestrian safety and aesthetic coherence, gates must swing inward onto the property, not outward onto sidewalks.

Rear Yard

- Approved on a case-by-case basis
- Front yard invisible fencing will NOT be allowed.
- Installation shall not modify the existing appearance of the lot.
- Any installation by the Homeowner is at their own risk; the DRC assumes no liability in the event adjacent neighbors or delivery persons enter vicinity of invisible fence and encounter the dog.

Fence Installation Guidelines

- Homeowners are encouraged to position fences as close to property lines as possible. If fences are placed within 6 inches of the property line, homeowners must permit adjacent neighbors to tie into the fence. Common use fences must be maintained by the original installer or lot owner.
- When a fence is not tied into an existing design, it must be installed at least 36 inches from the property line to ensure proper maintenance access.
- In cases where different fence styles or sizes are proposed adjacent to one another, a maintenance area of at least 36 inches must be provided between the fences to facilitate upkeep.

Retaining Walls

All retaining wall plans over four feet (4') tall or within any right-of-way must be submitted to the DRC for consideration and must be constructed in accordance with stamped engineered plans by a licensed engineer or by the Homebuilder.

Garden Walls

Materials

Garden walls must be constructed using local native stone or brick and must complement the materials and design of the main building approved by the DRC.

Stone detailing and materials used in the garden wall should be consistent with those used in common area walls.

Gates for garden walls must be made from wood or ornamental metal.

Brick or precast pillars may be approved on a case-by-case basis.

Design

When a building façade and its side yard faces a street, garden walls should be constructed using materials that match the main building's design for visual coherence.

Garden walls must meet the general fence requirements in terms of height, material, and design standards.

Placement

For corner lots, detached garages must be visually separated from the main building with a garden wall or fence to complete the boundary between the two structures.

Pools, Spas and Hot Tubs

All proposed swimming pools, Jacuzzis, spas, and hot tubs shall be located in rear yards 10' minimum from property line and must be submitted to the DRC for review and action prior to construction. Submittals should also include the deck, fencing design and layout, materials and equipment. Landscape screening and enhancement of the pool, hot tub, and spa areas may be required. Owners may be required to install safety features such as locks or covers for these items when not in use. All state code regulations must also be met. Above ground or temporary pools are prohibited. The materials, location and construction of all pools, spas and hot tubs must be approved in advance by DRC.

In Ground

Swimming pools and accompanying spas shall be in-ground, or a balanced cut and fill, and shall be designed to be compatible with the site and the dwelling. All pools must be properly screened through the use of landscaping and no more than three (3) feet of exposed concrete may be visible. Unless otherwise approved in writing by the DRC, associated swimming pool, spa, and hot tub improvements, such as rock waterfalls and slides, shall not be over six feet (6') in height. Any pool must have a minimum distance of 10' feet from the property line with any accompanying deck constructed no closer than 5' feet from the property line. Unless otherwise approved in writing by the DRC, all maintenance equipment, including chemicals, plumbing fixtures, heaters, pumps, etc., associated with a swimming pool, spa, or hot tub may not be visible from any adjacent street or open space. No swimming pool, spa or hot tub shall be drained onto any other property other than the owner's lot. Pools shall be fenced for safety purposes and approved, signed, and sealed by a licensed engineer.

Spas and Hot Tubs

Jacuzzis, spas, and hot tubs must be placed in the rear yards, with a minimum distance of 10' feet from the property line with any accompanying deck constructed no closer than 5' feet from the property line. These installations require submission to the DRC for review and approval before construction can begin. The submission should include detailed plans for the deck, fencing design, layout, materials, and equipment. Additionally, landscape screening and enhancement of the pool, hot tub, and spa areas may be necessary to maintain visual harmony within the property.

Screening; Fencing

Screening, fencing, security and maintenance are required of all swimming pools, spas and hot tubs. Additional fencing, if any is proposed in addition to the yard fencing, and/or walls around the swimming pool, spa or hot tub must be approved in advance by the DRC and integrated into the design of the dwelling and site. Fences must meet all governmental regulations and no pool, spa, hot tub or other similar water containing basin shall be filled with water until proper fencing is installed.

CHAPTER 4

Plans

The swimming pool, spa or hot tub plan must be drawn on a copy of an accurate site plan and shall include specific indications of distances from the water containing basin(s) and surrounding slab walks to the property lines and building setbacks.

Lot Access

No access across another Lot, Common Area, Open Space or greenway for the purpose of building or maintaining a swimming pool, spa or hot tub is permitted without the prior written approval of the other Owner or the DRC, in the case of Common Area, Open Space and/or greenway.

Basketball Goals

Playscapes, basketball goals, recreational and trampolines must be approved in writing by the DRC prior to the commencement of construction or placement. The DRC shall have the authority to establish additional guidelines for the placement and design of basketball goals, backboards, or any other similar sporting equipment and the same shall be kept and maintained out of view from any street, except in accordance with any such established guidelines.

Permanent basketball goals must meet the following criteria:

- The goalpost must be located within the private property boundaries, at least 10 feet from the front property line and at least 6 feet inside the side property line.
- The backboard must be made of safe, clear composite material, backboard and net must be always maintained in good condition.
- The post, padding, and all other metal components should be black or another dark color, such as dark green.
- Lighting fixtures attached to goal posts and backboards are not allowed.
- Goals located in rear yards are allowed (recommended in lieu of front locations) and shall be located a minimum of 10' inside property lines and additional landscaping may be required on a case-by-case basis.

NOTE: Skateboard ramps, bike ramps, or other similar high-noise-producing equipment are not permitted.

Playscapes, Recreational Items and Accessory Buildings

Sport Courts and tennis courts are specifically prohibited on any Lot.

Playscapes or any similar recreational facilities may not be constructed on any Lot without the advance written approval of the DRC. The DRC may prohibit the installation of playscapes or similar recreational facilities on any Lot. Playscapes or any similar recreational facilities shall comply with all the following requirements:

- Play equipment must be placed entirely within the rear yards, located within building setbacks. Additionally, it should not be visible from the street, as determined by the DRC. Consideration should be given to the size of the lot, the dimensions of the equipment, the materials used, the design, and its relationship to neighboring properties. The use of natural materials for constructing play equipment is encouraged. Painted metal play equipment, excluding wear surfaces such as slides, sliding poles, and climbing rungs, should be painted in dark earth tones—such as dark green or brown—to blend seamlessly with the natural surroundings. The DRC will review these materials on a case-by-case basis, and landscape screening may be required.
- Tree houses are generally discouraged because of their visibility from neighboring properties and will be reviewed on a case-by-case basis. Detailing shall be consistent with the house's design, detailing, and colors. Landscape screening may be required.
- No playhouses or play equipment shall exceed dimensions of 10 feet in width/depth or 10 feet in height and must be placed at least 10 feet from property lines.

If approved, portable playscapes, including but not limited to, non-permanent and/or inflatable slides, moon bounces, water parks and above ground inflatable pools or kiddy pools (collectively "Portable Playscapes") shall be stored in the rear of the Lot or inside the garage when not in use. In no event, shall any Portable Playscapes be in the front of any Owner's Lot for any period of time exceeding twenty-four (24) consecutive hours.

Accessory Buildings and Structures

As identified any accessory building and or structure must be preapproved as determined by the DRC. These structures could include the following: She-shed, Studio, Storage unit, Doghouse, Garden Shed, etc. Accessory buildings shall be constructed of the same materials and colors as the main building. Manufactured homes are not permitted as accessory buildings. Accessory buildings should be sited as close to the minimum setbacks as possible to maximize the yard area. Accessory structures shall be located only in the rear yards. Accessory buildings shall not exceed 2-stories in height.

Accessory Structures

- Accessory structures, such as playhouses, doghouses, and garden/storage sheds are permitted with written approval of the DRC and shall not exceed 120 SF or 10'x12'. Landscape screening may be required.
- If permitted, accessory structures shall have the same colors and details of the main house.
- Doghouses shall be located only in rear yards and a minimum of 10' from property lines and screened only as approved by the DRC and or the DRC. They should be built and painted to blend with their immediate surroundings and match the existing house. Landscaping may be required to soften the structure visually. Dog runs must generally follow the guidelines for fencing. Pre-fab chain-link dog runs generally will not be approved unless totally screened by wood fencing or located in a heavily planted area and black or dark green in color.
- Trampolines and such large play structures may be permitted only in rear yards and must not be highly visible from the front of house, streets, or public areas, and shall be finished of earth tone/dark colors. The DRC may require additional landscaping around such structures in a highly visible area.

Prohibited Elements

- Playscapes and trampolines may not be lighted or enclosed with netting (except safety netting around a trampoline).
- Tennis courts and sport courts.
- Permanent exterior clotheslines are not allowed.
- Animal kennels are prohibited.

Landscape and Site Design

Principles of Sustainability

The integration of sustainable landscape and site design principles is essential to Ponder's commitment to managing natural, economic, and social systems in a manner that enhances the quality of life. Sustainable residential landscape practices at Ponder prioritize the use of native and drought-tolerant plant species to conserve water, reduce or eliminate the need for pesticides and fertilizers, minimize maintenance, and support local wildlife by providing food and shelter. The restoration of native landscapes fosters a sense of place within Ponder while contributing to the ecological and cultural identity of the broader Piedmont community.

Preserving existing vegetation and minimizing soil disturbance and compaction are emphasized wherever it is feasible to maintain the natural soil structure. Vegetation is strategically used to provide shade on southern and western exposures, enhancing the energy efficiency of homes, while also shading impervious surfaces to mitigate the heat island effect. The use of pervious materials, including permeable pavement, planting beds, and rain gardens, is encouraged to reduce runoff and support stormwater management.

Additional stormwater control measures, such as vegetated filter strips and rainwater harvesting systems, are recommended to maintain water quality and reduce runoff. The implementation of rain gardens or bio-retention areas must be approved by the DRC on individual lots is strongly encouraged to supplement the community's broader stormwater management strategies.

Furthermore, materials and construction methods should reflect the regional context, honoring local history, culture, and climate. The use of renewable and indigenous resources in site development and management is promoted to reduce environmental impact. Ponder encourages the minimization of resource consumption through responsible water, energy, and material management, alongside the implementation of effective recycling and resource conservation practices.

CHAPTER 4

Impervious Surface Limits

Each lot within Ponder is assigned a specific impervious surface limit based on its designated product segmentation. Builders are required to submit detailed impervious surface calculations alongside each building plan to ensure compliance with these limits. The total impervious surface area includes the building envelope, as well as any accessory structures and hardscape elements, all of which must be carefully considered and must be approved by the DRC during the lot layout and design process.

To minimize impervious surface coverage, builders are encouraged to incorporate various strategies such as using permeable materials for driveways and implementing stormwater management techniques, including systems for capturing and managing runoff.

As new development phases progress and individual lots are constructed, impervious surface limits will be calculated and verified to ensure ongoing compliance with Ponder requirements. This approach supports sustainable development while managing stormwater effectively within the community.

Configuration and Massing

The exterior design of a residential lot should be approached as an opportunity to create functional and aesthetically pleasing outdoor spaces that serve as extensions of the home's living areas. Thoughtful landscaping can enhance the overall appearance of the house, contribute to the character of the neighborhood, and provide an inviting sense of place.

To achieve this, trees, shrubs, hedges, and groundcovers should be strategically arranged to define distinct outdoor spaces, emphasize primary entryways, and complement the architectural design. The use of massed plantings of a single species is particularly effective, especially along fences or walls, to establish visual continuity and create hedges or background plantings, must be approved by the DRC.

Foundation plantings are required along all facades facing streets to soften the building's appearance and provide an integrated landscape design. Additionally, extending plantings beyond the foundation is encouraged to further balance hardscape elements and reduce the dominance of turf. Landscape beds,

incorporating a combination of foundation plantings, shrubs, and groundcover, are recommended along the entire perimeter of all structures.

To promote sustainability and minimize environmental impact, large expanses of turf are generally discouraged. Limiting lawn coverage can reduce the need for irrigation, decrease maintenance demands, and minimize stormwater runoff and the use of fertilizers or pesticides. Prioritizing the incorporation of diverse plant materials and well-planned landscaping enhances both the individual property and the broader community aesthetic.

Materials

- The entirety of the lot that is not occupied by structures or paved surfaces must be landscaped with plants or lawn grasses, except for areas within the drip line of a tree preservation zone, which must be mulched at a minimum.
- Warm-season turf varieties, specifically Bermuda or Zoysia, are required due to their drought-tolerant and adaptive characteristics.
- All vegetation must be alive and well-maintained, with artificial plants strictly prohibited.
- Mulching is mandatory to aid newly planted materials in retaining moisture, establishing robust root systems, and preventing weed growth. All trees, shrubs, and groundcover must be situated in beds with a three-inch layer of mulch or clean pine straw. Appropriate mulch materials include shredded bark, pine straw, or pine bark nuggets. Mulch type should align with the prevalent tree species in the area; for example, pine straw is recommended when pine trees dominate the landscape.
- Trees should be strategically positioned to enhance architectural features without obstructing views from windows.
- Natural stone boulders may be used as decorative accents or focal points within the landscape, subject to approval by the DRC. These boulders should be partially embedded below grade and integrated within planting beds. All proposed boulder installations require review and approval during the DRC Landscape Submittal process.

Irrigation

- The use of native and xeriscape plant materials is encouraged to reduce the need for long-term irrigation systems.
- Shrub and groundcover beds typically require minimal watering beyond the initial establishment period of approximately 12 months. For any irrigation within these beds, a low-emission, drip irrigation system is recommended to maximize water efficiency.
- Homeowners are responsible for any repairs to sidewalks that become necessary due to additions or modifications made to a privately owned irrigation system.

Drainage and Grading

- All areas affected by grading or construction activities must be restored through the application of turf, groundcover, or shrub beds. The use of mulched beds without accompanying landscape materials is not an acceptable treatment for disturbed areas.
- Final grading of all disturbed areas must ensure a smooth, even surface that maintains proper drainage and aesthetic appearance.
- Drainage on the lot must comply with all applicable municipal, county, and state regulations.
- Alterations to established drainage patterns are strictly prohibited unless explicitly approved in writing.
- Property owners may undertake minor drainage adjustments on their lots, provided such modifications do not disrupt the established drainage pattern and receive prior approval from the DRC.
- Any proposed underground piping systems for managing water runoff, including connections to gutters and downspouts from the primary residence or accessory structures, must be clearly identified on the site plan and submitted for DRC review and approval.

Soil Preparation

- Planting soil must meet ASTM 5268 standards, containing a pH range of 5.5 to 7 and a minimum of 6% organic material content. The soil should be free of stones larger than one inch in any dimension, as well as any debris or materials that may hinder plant growth.
- Subgrade surfaces that have been newly graded must be loosened to a minimum depth of four inches. Any stones exceeding one inch in size, along with sticks, roots, and other debris, must be removed and legally disposed of offsite.
- Planting soil should be applied to a depth of two inches, or as necessary to meet the designated finish grades after accounting for light rolling and natural settling. Soil applications should not occur when either the subgrade or planting soil is frozen, excessively wet, or muddy.
- For optimal soil integration, apply approximately half the required planting soil thickness to the loosened subgrade and thoroughly mix it into the top four inches of the subgrade. The remaining planting soil should then be evenly spread to achieve the final desired depth.
- Finish grading must produce a smooth and uniform surface with a consistently fine texture. The final grade should be within a half inch of the specified finish elevation. Ridges and depressions should be eliminated through careful raking and rolling. Finish grading should be limited to areas that will be planted immediately to ensure soil stability and prevent erosion.

Landscape Design and Plants

Shade Trees

- Deciduous and evergreen shade trees shall be used in yards to create pockets of shade, screen southern/western building faces, and provide fall or year-round color.
- 2" caliper minimum install size for required shade trees.
- Street tree planting is required along all public streets and shall be installed in the 7' planting strip in the ROW between the curb and sidewalk. The Town of Wendell will be responsible for maintenance.

Evergreen Trees

- Evergreen trees shall be used for visual screening, accents, and year-round foliage.
- 6' 0" minimum install height for required evergreen trees.

CHAPTER 4

Ornamental Trees

- Flowering trees used to provide seasonal color, primarily in spring and summer as well as to provide intermediate vertical scale.
- 1.5" caliper or 8' 0" height minimum for required ornamental trees.

Landscaping Borders

The landscape border serves as a fundamental design element intended to enhance visual interest through vertical layering, texture, and seasonal color variation. Its purpose is to create a cohesive and aesthetically pleasing transition between the built environment and the natural landscape. The allowable extent of the front yard border is typically based on the maximum turf coverage permitted for each lot category and must be approved by the DRC.

Foundation plantings play a central role in establishing the border's framework and should be installed at a size sufficient to make an immediate visual impact. To ensure long-term density and visual appeal, all plant material must be arranged at intervals that will achieve a minimum of 80% coverage within two years.

For effective layering and variety, foundation plantings and shrubs should constitute no less than 50% of the landscape border, providing structure and height. Additionally, groundcover, perennials, and annual flower beds should account for at least 25% of the landscape border, contributing to seasonal color and textural contrast. This balanced composition not only enhances curb appeal but also promotes biodiversity and ecological resilience.

Foundation Plantings

Evergreen shrubs should be predominantly used around the foundations of structures and porch skirting to establish a strong visual base.

Plantings must be a minimum of 24 inches in height upon installation, with a standard spacing of 3 feet on center. Larger growing species may allow for increased spacing, subject to review.

All building edges should feature planted beds consisting of shrubs or groundcovers, which will be evaluated on a case-by-case basis.

Shrubs should enhance architectural elements without obstructing views from windows.

For homes situated on front and corner lots, street-facing foundations must incorporate at least two rows of shrubs, or one row of shrubs paired with a 2-foot-wide groundcover planting. Plant selection and placement should complement the architectural character of the structure while maintaining partial visibility through windows.

Large, blank, or extended walls without windows should be softened by clusters and masses of plants to reduce the visual impact and provide a sense of scale that harmonizes with the surrounding landscape.

Edging to Plant Beds

Edgings may be added to border planting beds to separate mulch and turf areas and hold mulch within plant beds. Layout of edging shall ensure smooth lines and radii matching the layouts of plant beds.

- Black metal edging may be used to separate turf and mulch. A minimum of half of the edging shall be buried into the soil ensuring no more than 2" of edging is visible above soil elevation facing turf area. Plant bed soils may be excavated to sit lower on the back side of metal edging if more mulch depth is desired behind edging. Edging stakes shall be placed on the back side of the edging and set flush or below the top of edging. DRC review is not required for installation of metal edging meeting this specification.
- Masonry edging may also be used at Ponder following DRC review and approval prior to installation. Such edging shall closely match the color and appearance of the home's masonry veneer. Edging shall not exceed 6" in width or 4" in height above the ground on turf side. All masonry edging shall be partially buried into the earth for stability. All masonry edging on a lot that is visible from streets, alleys, or public areas shall match in design and appearance.
- Homes with Stone Veneer: Approved edgings shall be natural stone, either rectangular blocks or stacked flagstone to match the appearance of the home's veneer. River rock and irregular native rock are not allowable. Stone edging may be installed with tight or stacked joints. Stone edging may also be set on concrete footings with mortared joints; width of joints shall be kept to a minimum to highlight the stonework. Mortared edging must be located a minimum 4 feet from trees to minimize damage from tree roots.

- Homes with Brick Veneer: Approved edgings shall be either brick matching the brick color of the home, or concrete block closely matching the appearance of the home's brick veneer color. Brick edging may be installed with tight joints, or mortared joints over a concrete footing. Mortared edging must be located a minimum 4 feet from trees to minimize damage from tree root.

Shrub Plantings

A diverse selection of deciduous and evergreen shrubs, along with ornamental grasses, should be used to establish vibrant and dynamic landscape beds. These plantings contribute to a layered and visually appealing garden

Groundcover Plantings

Low growing, spreading plant species are recommended as groundcover to create mow strips around fences, buildings, and other structures.

Groundcover should be strategically used alongside other plantings within landscape beds to achieve vertical layering, adding texture and depth to the overall landscape design.

Perennials, Annuals, and Bulbs

A diverse selection of flowering plants should be incorporated into landscape beds to provide vibrant, seasonal color throughout the year.

Lawn Grasses: Turf Coverage Standards

Definitions

- Front Yard: The area extending from the primary front façade of the home to the side yard property line and forward to the front property line, also referred to as the right-of-way (R.O.W.) line.
- Rear and Side Yards: All areas outside the front yard and any garages, and/or sheds.

General Guidelines

The primary objectives of the turf coverage maximum standards are to encourage sustainable water management and minimize the environmental impact of lawn maintenance activities, including mowing and over-fertilization. By limiting the extent of lawn areas in the front yard, the public realm will be enhanced through the incorporation of mid-level landscaping, contributing to a more visually dynamic and ecologically beneficial environment. For properties utilizing warm-season grasses, fall overseeding with annual rye is recommended to maintain a vibrant and consistent appearance throughout the cooler months. Any turf program must be approved by the DRC.

Turf Types

- Front, Side, and Rear Yards: Warm-season turf types are required for all lawn areas.
- Warm-Season Grass Varieties:
 - Hybridized Bermuda: May be established using seeded or vegetative cultivars, including sprigs, plugs, or sod.
 - Zoysia Grass: Recommended cultivars include Cavalier, Emerald, Palisades, Zeon, and Zorro, though others may be considered upon review.

Turf Quality Standards

- At the conclusion of the maintenance period, the turf should display a uniform and healthy appearance.
- A satisfactory stand of grass must cover at least 90% of any 10-square-foot area, with no bare spots exceeding dimensions of 5 by 5 inches.
- Grass located within the right-of-way must remain Bermuda to ensure consistent visual continuity across the community.

Street Trees

Street tree planting is required along all public streets and shall be installed in the 7' planting strip in the ROW between the curb and sidewalk. The Developer, Builders, and/or Ponder HOA provide street trees per the master street plan. The Town of Wendell will be responsible for maintenance.

It is the Owner's responsibility to maintain all landscaping comprising the home, any adjacent common area or public-right-of-way lying between the lot boundary and any wall, fence or curb within 15' of the lot boundary. Removal of any trees, shrubs, or similar planting must be approved by the DRC.

HOA Easements

- The 5' HOA easement is designed for placement of street trees.
- Shrub and groundcover beds may extend into this area. However, if utility maintenance and/or access is required, replacement of any damaged plant material will be the responsibility of the Owner.

Native and Adaptive Plants

Native species are those that naturally occur in an area; they have not been introduced by human action. Native species have evolved over time with the physical and biological factors specific to their region, such as climate, soil, rainfall, and interactions with other plants, animals, and insects that live in the area.

Native species are uniquely adapted to the local conditions and the area's wildlife, including important pollinators and migratory birds. Native plants have many inherent qualities and adaptive traits that make them aesthetically pleasing and ecologically valuable for landscaping.

Plant List

The recommended plant list on the following pages is intended to provide a general understanding of the plant material palette that is to be used within Ponder to support the goals of the use of native plant species, sustainability, and the various design elements described in this section. This list is not intended to be all-inclusive, subject to meeting the primary goals and objectives of this section be met. To allow some flexibility some non-natives have been listed, however, as previously described, emphasis should be placed on the native species. Consideration should be given to the specific microclimatic, soil, and other site-specific conditions that would influence plant material selection. In addition, due to the natural features of the site and location, the impact of wildlife should also be considered in the selection of plant material. In many areas of the project, plant materials may need to be selected that are not attractive to deer and other wildlife.

Invasive Plant List

USDA National Invasive Species Information Center
North Carolina Dept of Agriculture
www.ncbg.unc.edu/invasive-plants-resources

RECOMMENDED PLANT LIST

Shade Trees

Red Maple	<i>Acer rubrum</i>
Trident Maple	<i>Acer buergerianum</i>
Tulip Poplar	<i>Liriodendron tulipifera</i>
River Birch	<i>Betula nigra</i>
Bitternut Hickory	<i>Carya cordiformis</i>
Pignut Hickory	<i>Carya glabra</i>
Black Gum	<i>Nyssa sylvatica</i>
Yellowwood	<i>Cladrastis kentukea</i>
White Oak	<i>Quercus alba</i>
Southern Red Oak	<i>Quercus falcata</i>
Laurel Oak	<i>Quercus laurifolia</i>
Willow Oak	<i>Quercus phellos</i>
Red Oak	<i>Quercus rubra</i>
Post Oak	<i>Quercus stellata</i>
Scarlet Oak	<i>Quercus coccinea</i>
Live Oak	<i>Quercus virginiana</i>
Shumard Oak	<i>Quercus shumardii</i>
Nuttall Oak	<i>Quercus nutallii</i>
Overcup Oak	<i>Quercus lyrata</i>
Bald Cypress	<i>Taxodium distichum</i>
Black Locust	<i>Robinia pseudoacacia</i>
Sweet Gum	<i>Liquidambar styraciflua</i>
Alee, Athena, Elm	<i>Ulmus</i> sp.; various cultivars
Dynasty Chinese Elm	<i>Ulmus parvifolia</i>
American Beech	<i>Fagus grandifolia</i>
Sycamore	<i>Platanus occidentalis</i>
Little Leaf Linden	<i>Tilia cordata</i>
American Linden	<i>Tilia americana</i>
Green Vase Zelkova	<i>Zelkova serrata</i>

Evergreen Trees

Loblolly Pine	<i>Pinus taeda</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Devilwood	<i>Osmanthus americanus</i>

Deodar Cedar	<i>Cedrus deodora</i>
Yaupon Holly	<i>Ilex vomitoria</i>
Nellie Stevens, Foster	<i>Ilex</i> sp., various cultivars
Savannah Holly	<i>Ilex x attenuata</i> 'Savannah'
Eastern Red Cedar	<i>Juniperus virginiana</i>

Ornamental Trees / Flowering Trees

Eastern Redbud	<i>Cercis canadensis</i>
Oklahoma Redbud	<i>Cercis canadensis</i> 'Oklahoma'
White Redbud	<i>Cercis canadensis</i> var. 'Alba'
Serviceberry	<i>Amelanchier arborea</i>
Yellow Buckeye	<i>Aesculus flava</i>
Star Magnolia	<i>Magnolia stellata</i>
Sweetbay	<i>Magnolia virginiana</i>
Saucer Magnolia	<i>Magnolia soulangiana</i>
American Hornbeam	<i>Carpinus caroliniana</i>
European Hornbeam	<i>Carpinus betulus</i>
Flowering Dogwood	<i>Cornus florida</i>
Kousa Dogwood	<i>Cornus kousa</i>
Constellation Dogwood	<i>Cornus x 'Rutcan'</i> Cornelian
Cherry Dogwood	<i>Cornus mas</i>
Crape Myrtle	<i>Lagerstroemia indica</i>
Sourwood	<i>Oxydendrum arboreum</i>
Persimmon	<i>Diospyros virginiana</i>
Ironwood	<i>Ostrya virginiana</i>
White Fringetree	<i>Chionanthus virginicus</i>
Carolina Silverbell	<i>Halesia Carolina</i>
Chaste Tree	<i>Vitex agnus-castus</i>
Winterberry	<i>Ilex verticillata</i>
Smooth Hydrangea	<i>Hydrangea arborescens</i>
Bigleaf Hydrangea	<i>Hydrangea macrophylla</i>

CHAPTER 4

RECOMMENDED PLANT LIST

Shrubs

Glossy Abelia	Abelia x grandiflora	Exbury, Ghent, Knaphill Azaleas	Azalea hybridia
Gardenia	Gardenia jasminoides		
Dwarf Gardenia	Gardenia radicans	Sweet Azalea	Rhododendron arborescens
Tag alder	Alnus serrulata	Flame Azalea	Rhododendron Calendulaceum
Red Chokeberry	Aronia arbutifolia		
Black Chokeberry	Aronia melanocarpa	Flame Azalea	Rhododendron
Witch Hazel	Hamamelis virginiana	Azalea	periclymenoides
Smooth Hydrangea	Hydrangea arborescens	Pinkshell Azalea	Rhododendron vaseyi
Bigleaf Hydrangea	Hydrangea macrophylla		
PeeGee Hydrangea	Hydrangea paniculata 'Grandiflora	Japanese Camellia	Camellia japonica
Oakleaf Hydrangea	Hydrangea quercifolia	Sasanqua Camellia	Camellia sasanqua
Panicle Hydrangea	Hydrangea paniculata	Sweetshrub	Calycanthus floridus
Wintergreen Barberry	Berberis julianae	Summersweet	Clethra alnifolia
Japanese Barberry	Berberis thunbergii	Cinnamonbark	Canella winterana
Dense Hypericum	Hypericum densiflorum	Dwarf Hinoki Cypress	Chamaecyparis obtusa 'Nana'
Shrubby St. John's Wort	Hypericum prolificum	Gold Thread Cypress	Chamaecyparis pisifera f. 'Aurea'
American Beautyberry	Callicarpa americana	Hinoki Cypress	Chamaecyparis obtusa
Dwarf Butterfly Bush	Buddleia davidii (dwarf varieties only)	Japanese False Cypress	Chamaecyparis pisifera
Burford Holly	Ilex burfordii		
Dwarf Horned Holly	Ilex burfordii 'Nana'	Silky Dogwood	Cornus amomum
Compacta Japanese Holly	Ilex crenata 'Compacta'	Hazelnut	Corylus americana
Heller Holly	Ilex crenata 'Helleri'	Winter Daphne	Daphne odora
Carissa Holly	Ilex cornuta 'Carissa'	Bush Honeysuckle	Diervilla sessilifolia
Soft Touch Japanese Holly	Ilex crenata 'Soft Touch'	Common Winterberry	Ilex verticillata
Sky Pencil Japanese Holly	Ilex crenata 'Sky Pencil'	Winged Euonymus (Burning Bush)	Euonymus alatus
Rotunda Chinese Holly	Ilex cornuta 'Rotunda'	Virginia Sweetspire	Itea virginiana
Steeds Holly	Ilex crenata 'Steeds'	Hearts-a-bustin'	Euonymus americanus
Inkberry	Ilex glabra	Shore Juniper	Juniperus conferta
Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	Parson's Juniper	Juniperus sabina var. davurica 'Expansa'
Bordeaux Holly	Ilex vomitoria 'Bordeaux'	Creeping Juniper	Juniperus horizontalis
Southern Indian Azalea	Azalea indica	Large Fothergilla	Fothergilla major
		Lorapetalum	Lorapetalum chinense

RECOMMENDED PLANT LIST

Spicebush	<i>Lindera benzoin</i>
Oregon Grape	<i>Mahonia aquifolium</i>
Wax Myrtle	<i>Myrica cerifera</i>
Fortune Tea Olive	<i>Osmanthus x fortune</i>
Mock Orange	<i>Philadelphus coronarius</i>
Scarlet Firethorn	<i>Pyracantha coccinea</i>
Indian Hawthorn	<i>Raphiolepis indica</i>
Smooth Sumac	<i>Rhus glabra</i>
Carolina Rose	<i>Rosa Carolina</i>
Swamp Rose	<i>Rosa palustris</i>
Silky Willow	<i>Salix sericea</i>
American Elderberry	<i>Sambucus canadensis</i>
European Elderberry	<i>Sambucus nigra</i>
Coralberry	<i>Symphoricarpos orbiculatus</i>
Thuja sp.	<i>Arborvitae</i> , various cultivars
Highbush Blueberry	<i>Vaccinium corymbosum</i>
Lowbush Blueberry	<i>Vaccinium angustifolium</i>
Cranberry	<i>Vaccinium macrocarpon</i>
Deerberry	<i>Vaccinium stamineum</i>
Hobblebush	<i>Viburnum lantanoides</i>
Maple-leaf Viburnum	<i>Viburnum acerifolium</i>
Witherod Viburnum	<i>Viburnum nudum</i>
Arrowwood	<i>Viburnum dentatum</i>
Chinese Snowball	<i>Viburnum macrocephalum</i>
Doublefile Viburnum	<i>Viburnum plicatum</i> var. <i>tomentosum</i>

Vines

Dutchman's Pipe	<i>Aristolochia macrophylla</i>
Crossvine	<i>Bignonia capreolata</i>
Trumpet Creeper	<i>Campsis radicans</i>
Clematis	<i>Clematis</i> sp., various cultivars
Sweet Autumn Clematis	<i>Clematis terniflora</i>

Virgin's Bower	<i>Clematis virginiana</i>
Climbing Hydrangea	<i>Hydrangea petiolaris</i>
Carolina Jessamine	<i>Gelsemium sempervirens</i>
Coral Honeysuckle	<i>Lonicera sempervirens</i>
Virginia Creeper	<i>Parthenocissus quinquefolia</i>
Passion Flower	<i>Passiflora incarnata</i>
Climbing Rose	<i>Rosa hybrida</i>
Fox Grape	<i>Vitis labrusca</i>

Ground Covers

Ebony Spleenwort	<i>Asplenium platyneuron</i>
Maidenhair Fern	<i>Adiantum pedatum</i>
Lady Fern	<i>Athyrium filix-femina</i>
Hay-scented Fern	<i>Dennstaedtia punctilobula</i>
Wood Fern	<i>Dryopteris ludoviciana</i>
Autumn Fern	<i>Dryopteris erythrosora</i>
Sensitive Fern	<i>Onoclea sensibilis</i>
Ostrich Fern	<i>Matteuccia struthiopteris</i>
Cinnamon Fern	<i>Osmundastrum cinnamomeum</i>
Interrupted Fern	<i>Osmunda claytoniana</i>
Royal Fern	<i>Osmunda spectabilis</i>
Christmas Fern	<i>Polystichum acrostichoides</i>
Virginia Chain Fern	<i>Woodwardia virginica</i>
New York Fern	<i>Thelypteris noveboracensis</i>
Common Woodsia	<i>Woodsia obtusa</i>
Big Blue Lilyturf	<i>Liriope muscari</i> 'Big Blue'
Creeping Lilyturf	<i>Liriope spicata</i>
Mondo Grass	<i>Ophiopogon japonicus</i>
Dwarf Mondo Grass	<i>Ophiopogon japonicus</i> 'Nana'

CHAPTER 4

RECOMMENDED PLANT LIST

Perennials

Doll's Eyes	Actaea pachypoda
Blue Star	Amsonia tabernaemontana
Wild Columbine	Aquilegia canadensis
Jack-in-the-Pulpit	Arisaema triphyllum
Swamp Milkweed	Asclepias incarnata
White Wood Aster	Eurybia divaricate
False Goat's Beard	Astilbe biternate
Blue Cohosh	Caulophyllum thalictroides
Black Cohosh	Actaea racemosa
Bleeding Heart	Dicentra spectabilis
Joe-Pye Weed	Eupatorium purpureum
Sunflower	Helianthus annuus
Turks-cap Lily	Lilium superbum
Great Lobelia	Lobelia siphilitica
Bishop's Cap	Mitella diphylla
Carolina Phlox	Phlox Carolina
Solomon's Seal	Polygonatum sp., various cultivars
Bloodroot	Sanguinaria canadensis
Wrinkle-leaf	Solidago rugosa
Goldenrod	
New York Ironweed	Vernonia noveboracensis
Thimbleweed	Anemone cylindrica
Green Dragon	Arisaema dracontium
Goat's Beard	Aruncus dioicus
Butterfly Weed	Asclepias tuberosa
Late Purple Aster	Symphotrichum patens
Wild Indigo	Baptisia australis
Pink Turtlehead	Chelone obliqua
Tickseed	Coreopsis sp., various cultivars
Lenten Rose	Helleborus orientalis
Daylily cultivars	Hemerocallis sp., various
Hosta	Hosta sp., various cultivars
Shooting Stars	Primula meadia
Wild Geranium	Geranium maculatum
Blazing Star	Liatris spicata

Cardinal Flower	Lobelia cardinalis
Fringed Loostripe	Lysimachia ciliata
Bee Balm	Monarda didyma
Garden Phlox	Phlox paniculata
Black-eyed Susan	Rudbeckia hirta
Fire Pink	Silene virginica
Bush Pea	Thermopsis villosa

Ornamental Grasses

Sedge	Carex sp., various cultivars
Reed Grass cultivars	Calamagrostis sp., various
Big Bluestem cultivars	Andropogon sp., various
Wood Rush	Luzula p., various cultivars
Switchgrass cultivars	Panicum sp., various

Arbors/Pergola/Patio Covers

All arbors, pergolas and patios covers shall be approved in advance of construction by the DRC.

Arbors and patio covers must meet the following:

- Shall not exceed 10' in height, maximum 12'x12'.
- Be of cedar or a wood that is painted to match the principal residential structure constructed on the Lot. (All other materials will be reviewed by the DRC on a case-by-case basis.)
- If roof is solid covered the shingles must match the principal residential structure constructed on the Lot.
- Alternative materials for the cover on the arbor will be considered by the DRC on a case-by-case basis.

Decks

All decks shall be approved in advance of construction by the DRC.

Backyard deck additions shall be cedar or wood that is painted or stained to match the principal residential structure constructed on the Lot. (All other materials will be reviewed on a case-by-case basis by the DRC.)

Exterior Holiday Decorations

Lights or decorations may be erected on the exterior of the principal residential structure in commemoration or celebration of publicly observed holidays provided that such lights or decorations do not unreasonably disturb the peaceful enjoyment of adjacent Owners. All lights and decorations must not be permanent fixtures of the principal residential structure without prior written approval of the DRC. Seasonal items and art are allowed 30 days prior to such "holiday" and to be removed within 15 days thereafter such "holiday." All such items shall be located within the property lines. The DRC reserves the right to request a homeowner to remove an item if, upon inspection, the DRC considers the item unsightly or a nuisance.

CHAPTER 4

Residential Standards – Standards by Lot Size

Overall

- Shade/Street Tree(s) per approved street tree plan (40' spacing)
- Corner Lots may require additional street trees per approved street tree plan
- Foundation plantings as required
- HVAC units/utilities shall be screened with a minimum of 3 shrubs to minimize impact to public view
- All front yards will be fully sodded. On corner lots, the entire yard will be fully sodded

Townhomes

Front Yard

- Shrubs 50% coverage minimum
- Groundcover 35% minimum

Side Yard and Corner Lots

- Plant corner lots with a continuous shrub bed around the corner of the principal building

26'-44' Lots

Front Yard

- Shade/street tree(s) per approved street tree plan (40' spacing)
- One ornamental tree
- Foundation plantings as required

Rear Yard

- Five ornamental shrubs or one ornamental tree

45' + Lots

Front Yard

- Shade/street tree(s) per approved street tree plan (40' spacing)
- One ornamental tree
- Foundation plantings as required

Rear Yard

- One ornamental tree



APPENDIX A: ADDITIONAL DETAILS

1. High-Visible Additional Requirements and Fencing
2. Waste and Recycle Container – Screening
Requirements

High-Visibility Fence Requirements

High Visible “Key” Lots - Fencing

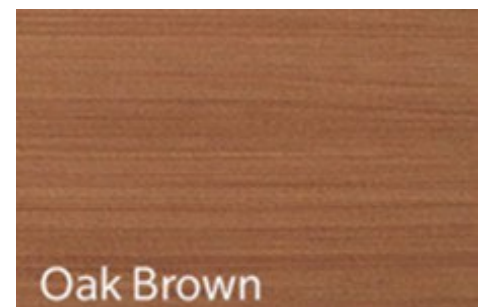
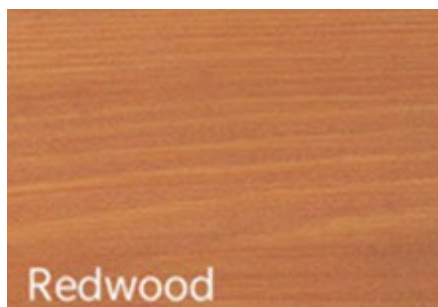
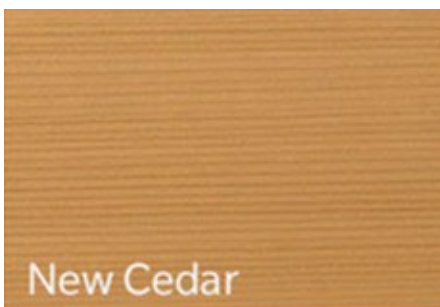
Lots identified as high visible lots are indicated on attached site plan. For these lots all fencing must be 6’ wood capped board-on-board fence. It creates a seamless structure that eliminates gaps between boards. This design brings complete privacy from both sides while maintaining a refined look. The overlapping method also increases durability. Wood must be either stained in a natural tone or painted to complement the home’s exterior or trim.



Note that only Pyramid Post Caps can be used for “Key” lot fences and must match the stain of the fence, all must be approved by the DRC.

High Visible “Key” Lots – Fence Stains

Fences on Ponder “Key” lots must be stained to protect the wood from weathering and sun exposure. For reference, three approved stain colors have been designated. These colors are available through Cabot Semi-Transparent Exterior Wood Stain and Sealer. Equivalent products from other manufacturers are acceptable, provided the color closely matches the approved hues in appearance and tone.



High-Visibility Fence requirements

Single-Family Corner Lot Fencing Layout

1. Locate fence maximum of 6" inside of rear property line and minimum of 4' from alley property line and minimum of 4' from alley. Locate outside of all easement areas.

Note: this allows space for planting between fence and alley.

2. Fencing must be 6' wood capped board-on-board fence. The Design Review Committee recommends beginning fence at rear corner of home.

3. Locate fences within property lines and outside of any existing easements otherwise.

4. Fence to not impede stormwater flow.

5. Gates as needed. Larger double gates are allowed. Various locations reviewed on a case-by-case basis.

6. Gates may be located at drive and extend fence around entire rear yard area where space allows.

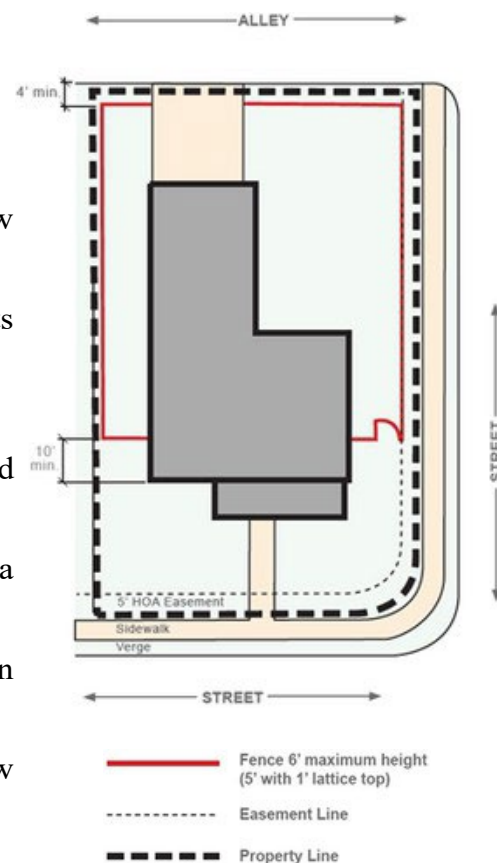
7. Front yard fencing is allowed on case-by-case basis as approved by the Design Review Committee.

8. Fencing color, size and layout shall be approved by the Design Review Committee prior to installation.

9. Fences to be located outside any street sight triangles to maintain area of clear visibility.

10. Fence to be located a maximum 6" from property line in all situations where the lot abuts another lot. Homeowner must allow adjacent neighbor to tie-in when fences installed within 6" of property line. In cases where an adjacent lot has an existing fence, the homeowner/builder MUST tie-into existing fence when existing fence is located within 6" from property line OR setback their proposed fence a minimum 36" from adjacent lot's existing fence when existing fence is located more than 6" from property line. This allows space for maintenance between the two fences.

11. When two adjacent neighbors plan to install fences at similar times, fence locations will be based upon which neighbor installs their fence first; not which neighbor first received DRC approval.



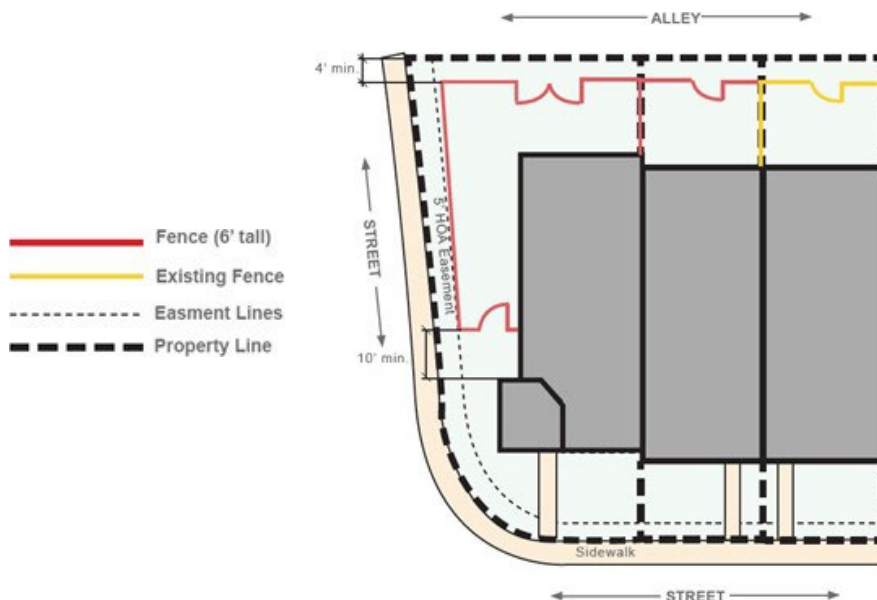
High-Visibility Fence requirements

Corner Townhome Fencing Layout

1. Locate fence along property line and a minimum of 4' from alley. Locate outside of all easement areas.

Note: this allows space for planting between fence and alley.

2. Fencing must be 6' wood capped board-on-board fence. The Design Review Committee recommends beginning fence at rear corner of home.
3. For corner lots, fencing must be a minimum of 5' from sidewalk, 10' min. from the front of the home, and outside any easements to accommodate planting. Fencing within certain easement areas is only allowed by submitting a signed (by homeowner) easement encroachment letter.
4. All fencing and divider panels are to be located on property line in all situations where the lot abuts another lot. Homeowners with an existing fence must allow adjacent neighbors to tie into their fence.
5. Fence to not impede stormwater flow.
6. All fencing that abuts neighboring properties must have (1) 36" gate at rear to provide accessibility to the maintained areas. Larger double gates are allowed. Various locations reviewed on a case-by-case basis.
7. Fences to be located outside any street sight triangles to maintain area of clear visibility.



Waste and Recycle Containers

Waste and recycling containers must be always stored out of public view, except on designated trash collection days. To preserve community aesthetics, residents are strongly encouraged to store these containers within garages whenever possible. The Design Review Committee (DRC) will consider proposals for screening enclosures intended to conceal trash receptacles, provided such requests account for placement and visibility from public vantage points. Landscaping, particularly the use of strategically placed plants or shrubs, is preferred over structural screens. When screens are deemed necessary, their visual impact should be minimized using evergreen plantings positioned along the outer edge.

Location

The placement of privacy screens and enclosures must be sensitive to the natural contours of the land and should be integrated harmoniously with their immediate surroundings. The removal of existing trees to accommodate an enclosure requires explicit prior approval from the DRC. Screens or enclosures are prohibited in front yards and should instead be situated along the garage-facing side of the residence. Under no circumstances may these installations infringe upon neighboring properties or their access. In cases where a home lacks a garage, the screen should be placed at the rear corner of the structure.

Materials

To maintain visual consistency across the Ponder community, screens and enclosures must adhere to specific dimensional and material standards. The height may not exceed 54 inches, and the footprint must remain within a maximum of 3 feet in width and 5 feet in length. Structures must enclose a minimum of three sides—typically two screen panels and the existing garage wall. Optional gates, which may be placed at the side or rear of the enclosure, must not exceed 3 feet in width and must always remain closed, except when containers are being moved in or out.

Acceptable materials for construction include wood. Wood must be either stained in a natural tone or painted to complement the home's exterior or trim. Lattice, if used, must consist of pressure-treated wood in a square pattern (minimum dimensions 1" x 2") or vinyl that convincingly mimics the texture and dimension of wood; flat vinyl is not permitted. All lattice elements must match the home's trim or existing fencing in color.

Requirements

Property owners are responsible for maintaining all screening and enclosures in a condition that is both visually appealing and structurally sound. This includes regular maintenance such as pressure washing and repainting as needed. Trash and recycling zones must always remain free of loose debris and clutter to ensure cleanliness and compliance.



APPENDIX B: FEES

1. DRC Owner Application Fees

APPENDIX

DRC Application Fees

The following tiered Design Review Committee (DRC) application fee structure is intended to align review costs with the complexity of the proposed improvement, the level of administrative coordination required, with the involvement of the Association's third-party architectural review consultant.

Residents should reference the applicable tier when preparing an application to understand the fee required as part of the DRC submission and review process.

Tier	Fee	Types of Work
1	\$25	Paint Color Change; Trash Enclosure; Solar Install; Satellite & Antennas; Landscape Replacements; Landscape Additions; Rainwater System; Outdoor Play Accessories
2	\$50	Edging Landscape; Irrigation; Lighting; Pavers; Fencing; Retaining Walls; Driveways; Permanent Play Structures; Accessory Structures
3	\$250	<i>ANY PROJECT REQUIRING A PERMIT</i> Porches and Decks; Patios; Pergolas; Pools; Outdoor Kitchens; Gas Fire Pits

Fee Tier Guidelines

- Please note that the examples provided are not all-inclusive, and owners should confirm the applicable application fee with Management prior to submitting a DRC request.
- Projects submitted under a single DRC application and application fee must be related, connected, and part of a cohesive improvement or project scope. Unrelated or independent modifications may require separate applications and applicable fees, as determined by Management and/or the DRC.

Resubmittal Fee

If a DRC application requires revisions or additional information to address comments, conditions, or requests from the Design Review Committee, the owner may be required to resubmit the application for further review.

A **\$25 resubmittal fee** may be assessed for each subsequent submission following the initial review. The resubmittal fee is intended to account for the additional administrative processing and architectural review associated with revised applications. To avoid unnecessary review cycles and additional fees, homeowners are encouraged to thoroughly address all comments and provide complete supporting documentation when resubmitting their application.



APPENDIX C: FORMS

1. Homebuilder Final Plan Application
2. Color Selection Form
3. DRC Landscape Submittal Checklist
4. DRC Alterations and Additions Submittal Checklist
5. Variance Form

DRC SUBMITTAL CHECKLIST

BUILDER SUBMITTAL FORM
SUBMITTAL MAY NOT BE REVIEWED UNTIL ALL INFORMATION IS INCLUDED
Updated March 2026

Builder/Lot Owner _____ Lot No. _____
Plan Name _____ Date Submitted _____
Street Address _____

Site Plan (8-1/2” x 11”): Must contain these items:

- ☐ Scale
- ☐ Setbacks and easements
- ☐ Building footprint(s), accessory building (if any) and finished floor elevations (if available)
- ☐ Clearing limits not to exceed necessary construction zone (indicate on plan)
- ☐ Water meter & sewer locations (from field observation)
- ☐ Driveway (include any special materials) and finished elevation at street (if available)
- ☐ Decks and patios
- ☐ Walkways
- ☐ Fencing and retaining walls (including fence detail if proposed)
- ☐ Service areas (include method of screening)
- ☐ Impervious square footage (break down buildings, drives, walks, etc. and provide total SF)
- ☐ As-built survey required at time of C.O. for impervious surface, setbacks, etc. verification.

Landscaping Plan (Provide DRC Landscape Submittal Checklist, 8-1/2" x 11", 11” x 17” maximum)

Architectural Plans (8-1/2” x 11” or copy of Approved Builder Cut-Sheet)

- ☐ Floor plans with finishable square footage (within limits)
- ☐ Front, sides & rear elevations (with material indications)
- ☐ Special details (porch railings, columns, etc.)

Colors and Materials

- ☐ Color Selection Form must be attached

Energy Analysis and Approval

- ☐ Plans submitted to Southern Energy Management (SEM) and certification submitted to DRC for record.

Review is only for conformance with the Ponder Design Guidelines. The builder is entirely responsible for compliance with the Ponder Design Guidelines, covenants, ordinances and other applicable codes, regulations, etc. DRC comments are as attached and noted on submittal.

☐ Approved ☐ Approved as Noted ☐ Not Approved ☐ Resubmit

Reviewed By _____ Date _____
NB, Ammons Acres, LLC / DRC Representative

DRC COLOR SELECTION FORM

Updated March 2026

Builder/Lot Owner _____ **Lot No.** _____
Plan Name _____ **Date Submitted** _____
Street Address _____

All exterior colors and materials must be selected and submitted to the Wendell Falls Design Review Committee (DRC) for review and approval prior to finishing and painting house. In case of conflict with existing homes, another color choice may be required for DRC review and approval. Review the Wendell Falls permanent files and adjacent house colors for color coordination and prevention of color duplication prior to submittal. Color proposals should be submitted with color chip samples (minimum 2" square in size and larger samples may be required) for DRC review and approval. Colors should be submitted with the original house submittal to best assure your first choice selection, however, colors may be submitted at a later date with sufficient time (4 weeks minimum) for DRC review and approval prior to proceeding with exterior finishing. Brick, stone, etc. exterior finishes shall be submitted and approved prior to proceeding with any construction. Note: Color selection approval based on a first-come first-serve basis. Garage doors shall be painted to match the trim, siding or accent color (or stained if wood). Fences shall be painted to match the house trim color, stained or other accent color as approved by the DRC. See the Design Guidelines for other color requirements.

Manufacturer, Color and Material Proposals (Samples, brochures, photos, etc. attached):

Color Scheme Number (if applicable) _____

Siding _____

Trim _____

Brick _____

Stone _____

Front Door _____

Garage Door _____

Shutters _____

Roof _____

Other (Shakes, fencing, etc.) _____

Review is only for conformance with the Ponder Design Guidelines. The builder/homeowner is entirely responsible for compliance with the Ponder Design Guidelines, covenants, ordinances and other applicable codes, regulations, etc. DRC comments are as attached and noted on submittal.

☐ **Approved** ☐ **Approved as Noted** ☐ **Not Approved** ☐ **Resubmit**

Reviewed By
NB, Ammons Acres, LLC / DRC Representative

Date

APPENDIX

DRC LANDSCAPE SUBMITTAL CHECKLIST

SUBMITTAL MAY NOT BE REVIEWED UNTIL ALL INFORMATION IS INCLUDED

Updated March 2026

Builder/Lot Owner _____ Lot No. _____
Plan Name _____ Date Submitted _____
Street Address _____

Landscape Plan Section (11" x 17")

- ☐ Graphic and Written Scale
- ☐ North Arrow
- ☐ Property Lines
- ☐ Setbacks and easements
- ☐ Building Footprints (Include windows, doors, etc...)
- ☐ Utility Locations (include HVAC etc...)
- ☐ Lot Size (Frontage:50-60-70)
- ☐ Lot Area (for plant % calculations)
- ☐ Driveways
- ☐ Decks and patios
- ☐ Walkways
- ☐ Fencing and retaining walls (if proposed include material, color, style, details, and images)
- ☐ Landscape Boulders
- ☐ Site Pictures (should provide an overall understanding and view of the entire site) Min. of 5 Pictures
- ☐ Corner Lot Requirements
- ☐ ISA Calculations

Plant Layout Section

- ☐ Show Percentage (%) of Turf Area for plan (40% Max. Front Yard, 65% Max. Side and Rear) ____%
- ☐ Overlay Street Tree Plan (provided by Newland Communities)
- ☐ Follow General Landscape Principles (Refer to Ponder Design Guidelines)

Plant Species Section

- ☐ Show Percentage (%) of native plant species (60% Min.) _%
- ☐ Meet Minimum plant sizes as specified in Ponder Design Guidelines
- ☐ Plants pass Invasive Species test for North Carolina (Consult NC Native Plant Society - [USDA National Invasive Species Information Center North Carolina Dept of Agriculture www.ncbg.unc.edu/invasive-plants-resources](https://www.usda.gov/natural-resources/plant-conservation/invasive-species))
- ☐ True Arch and Tangent points for Curvilinear layouts
- ☐ True Parallel, Perpendicular and 90 degree angles for Linear layouts
- ☐ Type of Mulch Provided (_____) Double or Triple Shredded Mulch recommended
- ☐ Entire Perimeter and Foundation Planted

Soil Section

- ☐ Soil Tests - Recommended
- ☐ Description of Soil Preparation – Recommended.

Drainage Section

- ☐ Drainage Issues will be reviewed on a per lot basis (as determined by NB, Ammons Acres, LLC). Site pictures (as mentioned above) should provide DRC with a thorough understanding of each lot, which will allow DRC to make an informed decision on what drainage measures need to be taken.

Irrigation Systems

- ☐ Irrigation Plan – Recommended (Low Emitting, Drip Irrigation system should be used, refer to Ponder Guidelines)

Rain Barrels

- ☐ Rain Barrel – Recommended

DRC Comments

INSPECTION NOTICE

Random Inspections can take place at any time after Landscape Approval is given, and installation begins. Inspections will be handled by DRC and NB, Ammons Acres, LLC.

Review is only for conformance with the Ponder Design Guidelines. The builder is entirely responsible for compliance with the Ponder Design Guidelines, covenants, ordinances and other applicable codes, regulations, etc. DRC comments are as attached and noted on submittal.

☐ **Approved** ☐ **Approved as Noted** ☐ **Not Approved** ☐ **Resubmit**

Reviewed By
NB, Ammons Acres, LLC / DRC Representative

Date

DRC ALTERATIONS AND ADDITIONS SUBMITTAL CHECKLIST

HOMEOWNER SUBMITTAL FORM

Updated March 2026 – Draft Checklist DO NOT USE

SUBMITTAL MAY NOT BE REVIEWED UNTIL ALL INFORMATION IS INCLUDED
Note: Homeowners shall submit the completed DRC Alterations and Additions Submittal Checklist, a Review Fee payable to Ponder Community Association, Inc., and all required information to Ponder CA, Inc 1151 Lakehouse Lane, . DRC review and approval is required prior to proceeding with any permitting or construction.

Homeowner Name_____Date Submitted_____

Street Address_____Lot No._____

Telephone Numbers – Home:_____Work:_____

Email_____

AS REQUIRED: SUBMITTAL MAY NOT BE REVIEWED UNLESS ALL INFORMATION IS INCLUDED

- ☐ **DRC Review Application and Review Fee:**
Check or money order payable to: Ponder Community Association. Please mail check to: Wendell NC 27591, drop off at the HOA office located 1151 Lakehouse Lane.
- ☐ **Site Plan/Plat of Survey (8-1/2” x 11”, 11” x 17” maximum):**
Identify location of improvements and actual dimensions (height, length, width, color), utility easements, north arrow, scale and square footage of any impervious material improvements to site.
- ☐ **Landscape Plan (8-1/2” x 11”, 11” x 17” maximum):**
Identify location of Landscape Improvements, property lines, existing walls and fences, landscape materials (sod, tree, shrub and ground cover types), irrigation and lighting (if applicable), utility easements, north arrow and scale. (A Landscaping Plan is required for any landscape improvements other than for maintenance purposes.)
- ☐ **Architectural Plan (8-1/2” x 11”, 11” x 17” maximum):**
Identify square footage, front, sides and rear elevations, color selection, and special details.
- ☐ **Detailed drawing or photo of improvement:**
List all materials, types & colors. Provide material samples as applicable (color chip, type of rock, photos).
- ☐ **Neighbor Notification:**
Neighbor (adjacent neighboring properties) notification is not meant for neighbors’ approval of proposed improvements, but to communicate that a DRC Submittal and future construction is underway. List those contacted:

Request for Modification(s):

- ☐ Fencing and retaining walls: _____ Addition __ Improvements
- ☐ Landscaping: _____ Front Yard __ Side Yard __ Rear Yard
- ☐ Irrigation System: _____ Addition __ Improvements
- ☐ Deck, patio, walkway, etc.: _____ Addition __ Improvements
- ☐ Paint /Stain: _____ Home __ Door __ Other
- ☐ Accessory outbuilding (storage/shed): _____ Addition _ Improvements
- ☐ Play/Sport Equipment: Specify _____
- ☐ Spa/Pool
- ☐ Satellite Dish
- ☐ Solar Panels
- ☐ Home/Room Additions
- ☐ Other: _____

Anticipated Start Date: _____ Anticipated Completion Date: _____

Approval is required prior to proceeding with any alterations or construction. Although the DRC will make every effort to review and approve your request as soon as possible, please be aware that in accordance with the community covenants and regulations, the DRC has 45 days to review and approve submitted requests.

CC&R 4.3 (b) If construction does not commence on a project for which Plans have been approved within nine months after the date of Approval, such approval shall be deemed withdrawn and it shall be necessary for the Owner to reapply...

Review is only for conformance with the Ponder Design Guidelines. The owner is entirely responsible for compliance with the Ponder Design Guidelines, covenants, ordinances and other applicable codes, regulations, utility locations, etc. Any damage to common areas, sidewalks, irrigation systems is the responsibility of the owner. DRC comments are as attached and noted on submittal.

I have read and understand the forms needed and the conditions stated on this DRC Submittal Form.

Owner

Date

☐ **Approved** ☐ **Approved as Noted** ☐ **Not Approved** ☐ **Resubmit**

Reviewed By
Ponder Community Association, Inc.
DRC Representative

Date

DRC VARIANCE FORM

SUBMITTAL MAY NOT BE REVIEWED UNLESS ALL INFORMATION IS INCLUDED

Updated March 2026

Builder/Lot Owner

Plan Name

Street Address

Lot No.

Date Submitted

The DRC decides whether a variance is to be granted or denied based on the requirements set out in the Design Guidelines and with careful consideration of the merits of the individual request. The Builder/ Owner hereby makes application to the DRC for the following variance. Note: Submission of form does not constitute approval. For any variance, include description of encroaching structures, number of feet / inches in existing setback, and amount of intrusion expressed both in feet and inches or feet to tenths, etc. and all related graphic information (site plan, floor plans, elevations, etc.) as required to best communicate and describe proposed variance. Use additional sheets and documents as needed.

The variance requested is described in detail as follows:

The reasons for the request are:

The impacts of the request on the neighbors and/or development are:

Affected adjacent Properties/Owners (If Resident requested including lot nos. and names of Homeowners if available):

DRC comments are as attached / noted on submittal. Review is only for this specific Variance request and conformance with the Ponder Design Guidelines. The builder is entirely responsible for compliance with the Ponder Design Guidelines, covenants, ordinances and other applicable codes, regulations, etc.

☐ Approved

☐ Approved as Noted

☐ Not Approved

☐ Resubmit

Reviewed By

DRC Representative

Date